

5th Draft

QUARRY CREEK

MASTER PLAN

City of Carlsbad

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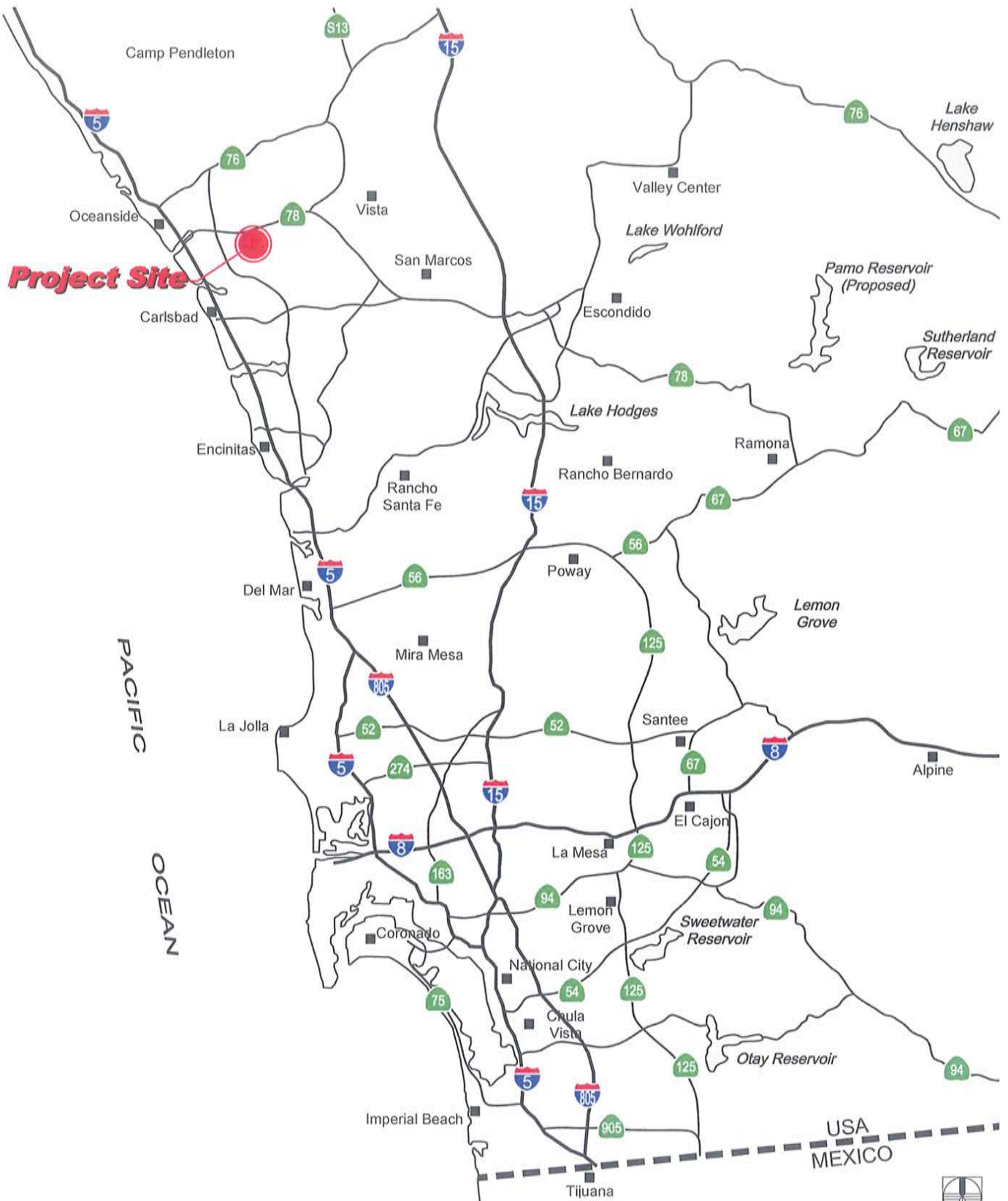
1 INTRODUCTION

This Quarry Creek Master Plan is a land use regulatory document which provides the planning policies and development standards which will regulate development of the Quarry Creek property in Carlsbad. The framework for the Quarry Creek Master Plan rests in the vision to develop a sustainable community which is both protective of the natural environment and history of the site, and is also aesthetically pleasing, with an appropriate balance of open space, residential and public use land uses. It is the intent of this master plan to incorporate basic smart growth principles of clustered development, convenient access to a diversity of uses, and efficient use of the land into a community design that is as environmentally and culturally sensitive and as socially cohesive as possible.

The Quarry Creek property covered by this master plan is 156 acres in area, located in an urbanized area in the extreme north-east section of the city of Carlsbad. The location of the property is shown on *Figure 1, Regional Location Map*. The eastern 100 acres of the plan area has historically been the subject of rock and gravel mining activities which resulted in large areas of earth removal and excavation scar. This area has been the subject of a recent mine reclamation program by the present owner of the property (not the development applicant), which has returned the mined areas to a state which is usable for urban land uses per the local zoning and General Plan land uses designated for the property. This reclamation plan was adopted by the State Mining and Geology Board in 1991 as being in compliance with the Surface Mining and Recovery Act of 1975 (SMARA), and has been recently completed.

The Quarry Creek site is located within an urbanized area generally surrounded by highway routes, commercial, residential and public land uses. More specifically, the property is sandwiched between residential uses in the Calavera Hills community to the south, a commercial retail mall to the east, state regional Highway 78 to the north and a state-owned land preserve to the west. These surrounding uses are shown on *Figure 2, Aerial Photograph*. In addition to the reclaimed mining areas, the property also contains environmentally-sensitive features, including the El Salto Falls, the Buena Vista Creek, and natural steep slopes. Thus, the Quarry Creek Master Plan project is intended to cluster an urban, sustainable community into the generally degraded and non-sensitive portions of the property, and conserve the balance of the site in protected and managed open space. It will develop a site previously disturbed by mining activities, adding a new neighborhood community in north Carlsbad, without a significant loss of quality environmental habitat or open space.

A variety of stakeholder perspectives have provided input into this Master Plan. The result is a Master Plan based on the concept of “Intelligent Design Collaboration”, a process that involves the developer, the expert design team, the community, and the decision-makers – in order to attain “equilibrium between environmental stewardship, social responsibility and economic viability.



NOT TO SCALE



FIGURE 1

Quarry Creek

REGIONAL LOCATION MAP



FIGURE 2

AERIAL PHOTOGRAPH

Quarry Creek

Master Plan

1.1 Legal Authority

This document serves as a Master Plan of development for the Quarry Creek property. It provides text and exhibits describing the range of land uses, public amenities, landscape features, and circulation routes that can be developed within the Master Plan area. This Plan has been prepared in accordance with Title 21, Section 21.38 of the City of Carlsbad Municipal Code, Planned Community Zone, and in consideration of, and in accordance with, all regulations, conditions, programs, and policies of the City of Carlsbad General Plan, including but not limited to the Growth Management Plan, Local Facilities Management Plan for Zone 25, and the adopted Habitat Management Plan. These considerations include: (1) the location of and standards for land uses, building and facilities; (2) the location of and standards for roadways, drainage, and other essential facilities; (3) standards for population density and building intensity and provisions for supporting services; (4) standards for the conservation, development and use of natural resources; (5) a program of implementing the Housing, Circulation, and the Conservation and Open Space Elements; and (6) other implementation measures.

This Master Plan, along with the accompanying Zone 25 LFMP, establishes land uses, residential densities, infrastructure improvements, and a circulation pattern for the area historically referred to as Quarry Creek. This document also establishes a set of zoning regulations and regulatory procedures that have been formulated for the implementation of the land uses included within the Quarry Creek Master Plan. This plan also provides a process of development plan review and a follow-up provision of design guidelines for architectural and landscape consistency throughout the project. Infrastructure and public facilities, both on-site and off-site, are planned to accommodate the buildout requirements of the Quarry Creek Master Plan, ensuring that the City's goals for balanced, orderly growth are applied. Implementation of this Master Plan will provide assurance to the City of Carlsbad that ultimate development of the site will be consistent with the intended goals and objectives of the City General Plan and the Local Facilities Management Plan for Zone 25.

The adopted Master Plan functions as an important component in the development implementation process, by serving as the basis for reviewing subsequent development plans, subdivisions, and other discretionary permits. This Master Plan is intended to be a planning and policy document and is subject to City of Carlsbad City Council approval. Once adopted by City legislative action, this Master Plan will serve both planning and policy functions for Quarry Creek. This Master Plan contains the standards, procedures and guidelines necessary to accomplish this purpose.

The Quarry Creek Master Plan constitutes the land use policy document providing orderly development and zoning regulations for the property. Consistent with the City of Carlsbad Municipal Code, any violation of the standards and regulations identified in the Quarry Creek Master Plan adopted by the City of Carlsbad's City Council shall be considered a violation of the Zoning Ordinance. Should any conflict arise between the Master Plan zoning regulations and existing City policies, procedures or ordinances, the provisions of this Master Plan shall prevail. Where the Master Plan is silent on an issue, the requirements of the Carlsbad Municipal Code shall apply. If any term, provision or condition of this Master Plan is found to be invalid or unenforceable, the remainder of this Master Plan shall not be affected.

1.2 Project Location

The Quarry Creek Master Plan consists of 156.0 acres of property located in the northeast portion of the city of Carlsbad. The site is approximately 3.5 miles inland from the Pacific Ocean. The property is located within Carlsbad Local Facilities Management Plan (LFMP) Zone 25. As indicated on *Figure 3, Surrounding Land Use Map*, the site is located approximately 0.5 miles west of College Boulevard, on the south side of Highway 78. Land uses that surround the property include State Highway 78 (and the frontage road Haymar Drive to the north), the Quarry Creek Shopping Center (a sub-urban retail commercial development) to the east, the Calavera Hills residential neighborhood (located up the slope southerly of the site), and the Buena Vista Valley Conservation Area (including the Marron Adobe house and related accessory uses) to the west.

The Quarry Creek property is made up of two existing, large parcels; the 100-acre quarry parcel [also called the Reclamation Parcel] on the east, and the 56-acre panhandle parcel on the west. Buena Vista Creek generally bisects the Quarry parcel and runs northerly (off-site) of the Panhandle parcel. The panhandle [western] parcel consists of an east-west trending ridge, and a parallel tributary streamcourse/valley which drains the Calavera Hills neighborhoods from the south. Marron Road presently stubs from the Quarry Creek Shopping Center at the east property line. Haymar Dr. accesses the site as a frontage road on the south side of Highway 78. To the west of the property are undeveloped lands associated with the Buena Vista Creek Ecological Preserve (formerly the Sherman property) that is owned by the State of California, and the historic Marron adobe home located atop a small hill surrounded by small cultivated agricultural fields.

1.3 Master Plan Objectives

Project objectives were developed early in the planning process for the Quarry Creek project. The following listed objectives provide the framework upon which this Master Plan is based. These objectives are intended to ensure the functionality, economic viability, environmental and cultural sensitivity and a positive aesthetic contribution of the Master Plan. The project is intended to:

- Provide land uses that are compatible and complementary with the existing surrounding and adjacent land uses and facilities in an effort to sustain SANDAG "Smart Growth" principles for the Quarry Creek area. Establish sufficient land use intensity on the site to support the "Community Center" designation on the Smart Growth Concept Map.
- Provide a high density and medium-high density community in compliance with the policies of the Housing Element of the Carlsbad General Plan.
- Establish a comprehensive development plan for the site that provides an appropriate balance of open space, residential and public use land uses.
- Develop a sustainable community by focusing the land use design parameters on environmental, cultural, social and economic sustainability. Provide a plan that is strongly influenced by recognition of the balance between human interaction

(development of urban uses) and natural systems (environmental conservation), in order to meet the needs of current and future generations, and to respect the history of past generations who have lived on the property.

- Construct a community that preserves and protects the most important cultural heritage aspects of the property.
- Provide a plan that permanently preserves the culturally-significant El Salto Falls and the full alignment of Buena Vista Creek through the Quarry Creek property, and includes a significant development buffer of native landscape protecting each of these natural and historic resources.
- Comply with the Carlsbad Habitat Management Plan (HMP) and conserve open spaces through consistency with the requirements of the City of Carlsbad and Wildlife Agencies approved HMP. The Master Plan clusters proposed development only to a number of compact areas allowed for development as defined in the HMP. This will allow for wildlife corridors and sensitive vegetation communities to be conserved, mitigated, protected and managed in accordance with the standards required by these Agencies.
- Provide replacement land uses for the rock quarry. Provide a modern, sustainable urban development in place of a highly-disturbed quarry site, which has been utilized for unattractive and landscape-scarring mining operations since 1961.
- Implement a plan which is aesthetically pleasing, and compatible and complimentary to adjacent land uses and facilities.
- Conserve open space areas for recreation and the preservation of sensitive environmental resources by clustering development within the non-environmentally sensitive areas of the property, as indicated by the approved HMP hardline.
- Implement the applicable portions of the City of Carlsbad General Plan and Zoning Code; and the Zone 25 Local Facilities Management Plan, as adopted by the concurrent application.
- Provide an economically-viable development program for the property.
- Design a community that encourages social interaction through providing for the recreational and open space needs of project residents and the City at large, by incorporating recreational land uses including public areas, recreation facilities, pocket parks, a pedestrian circulation system and substantial areas of permanently preserved natural open space.
- Provide for a variety of housing choices in order to accommodate the housing needs of a range of economic levels and age groups, promote social diversity and to support an economically viable development program.



FIGURE 3

SURROUNDING LAND USES MAP

Quarry Creek

- Add to the City's inventory of housing diversity by providing both market rate and affordable housing opportunities that are conveniently located adjacent to transportation, commercial, recreational and public uses.
- Provide architectural and landscape Guidelines applicable to an appropriate mix of housing types which meet the City's goals for establishing a sustainable community that is marketable within the evolving economic profile of the surrounding community and the City of Carlsbad as a whole.
- Modify the Carlsbad Circulation Element to eliminate Marron Road and Rancho del Oro Road from extending through the Buena Vista Creek Preserve.
- Ensure sufficient developable acreage in different residential densities to provide varied housing types for households in all economic segments.
- Provide a plan that recognizes the development potential of the entire site as contemplated in the current adopted General Plan and Habitat Management Plan.
- Comply with the City of Carlsbad's infrastructure construction and public safety requirements which severely constrain infrastructure phasing on the property.

1.4 Site Description

The Quarry Creek development will represent the ultimate re-use of a reclaimed mining site and surrounding disturbed areas, located within a highly urbanized area of northeast Carlsbad, adjacent to the cities of Oceanside and Vista. The property is characterized as follows:

Reclamation – The mined areas of the property will be reclaimed prior to development pursuant to this Quarry Creek Master Plan. This reclamation has been completed by the present owner of the property (not the development applicant), pursuant to the approved Reclamation Plan and the mitigation measures identified in the Quarry Creek Reclamation Plan EIR, including protection of the important natural and cultural features of the site. Upon completion of the reclamation, the site will be in a condition which can accommodate development in the non-protected areas in accordance with the standards identified in this master plan. The Buena Vista Creek channel has also been restored pursuant to the requirements of the Reclamation Plan.

Topography – Even after reclamation of the mined areas, the Quarry Creek property will be characterized by a significant amount of topographic relief. As shown on *Figure 4, Topographic/Major Characteristics Map*, elevations within the subject property range from approximately 80-feet above mean sea level at the Buena Vista Creek wetlands in the north-central corner of the property, to approximately 320 feet above sea level at the southeastern property line. The southern portion of the site contains a steep north-facing cut slope (quarry impacts) traversed by concrete brow ditches, with Buena Vista Creek running east to west through the center of the quarry site. The Buena Vista Creek widens to an expansive wetlands habitat in the north-central area of the site. Topographically, the panhandle ridge trends east-west; from a center-panhandle high-point to a low point at the western corner of the property.

LEGEND

----- EXISTING HMP LINE



FIGURE 4

Quarry Creek

Master Plan

TOPOGRAPHIC/MAJOR CHARACTERISTICS MAP

Biology - The property supports a number of vegetation communities, including natural riparian woodlands, southern willow scrub forest, freshwater marsh, coastal sage scrub, southern mixed chaparral, native grasslands, non-native grasslands, eucalyptus woodlands, non-native vegetation, disturbed habitat (including bare dirt) and developed land.

Much of the disturbed habitat is the result of the rock quarry that operated on the eastern half of the property for 34 years (until 1995). This quarry conducted generally three types of activities; (1) quarrying of the hard rock material from the site; (2) the manufacturing of asphalt and concrete products; and (3) site reclamation work. The rock plant and asphalt plant have been dismantled and removed from the site. The concrete batch plant was closed and dismantled more recently in 2005. The excavation and grading pursuant to the reclamation plan is completed. The future completion of the grading is intended to be consistent with the remainder of this Master Plan.

The on-site natural communities primarily surround much of the Buena Vista Creek and wetlands, and large acreages of steep slopes on the southern portion of the site. The section of the Buena Vista Creek that has been highly disturbed by mining activities will be reclaimed pursuant to the Reclamation Plan. All biological impacts resulting from the Quarry Creek Master Plan project will be mitigated on-site through preservation or restoration of existing sensitive vegetation communities.

General Plan Land Uses – The Quarry Creek property has historically been designated for residential low-medium density housing and open space. On December 22, 2009, however, the Carlsbad City Council approved an updated Housing Element to the Carlsbad General Plan which directed that land uses on the Reclamation Parcel of Quarry Creek be changed. See *Figure 5; General Plan Map per Housing Element*. This Housing Element has been accepted for certification by the State of California Department of Housing and Community Development. This certification requires the City to demonstrate establishment of consistency between the Housing Element and the Land Use Element by February, 2013.

A critical measure of compliance with the State Housing Element law is the ability of a jurisdiction to accommodate its share of the regional housing needs – Regional Housing Needs Allocation (RHNA). A primary criterion of these needs is the requirement that Carlsbad meet its affordable housing goal for the relevant housing element cycle. The affordable housing goal is defined in state law as the maximum number of housing units that can be constructed, acquired, rehabilitated, and preserved and the maximum number of units or households that can be provided with rental or ownership assistance for low, very low and extremely low income households. An accepted primary method of complying with the housing goal is the rezoning of single-family home areas to permit higher density, low and moderate income housing. The City has adopted the Quarry Creek Reclamation Parcel property as a site in which the General Plan land use designation is directed to be amended to change the historical low-medium density designation to permit high density and medium-high density residential uses.

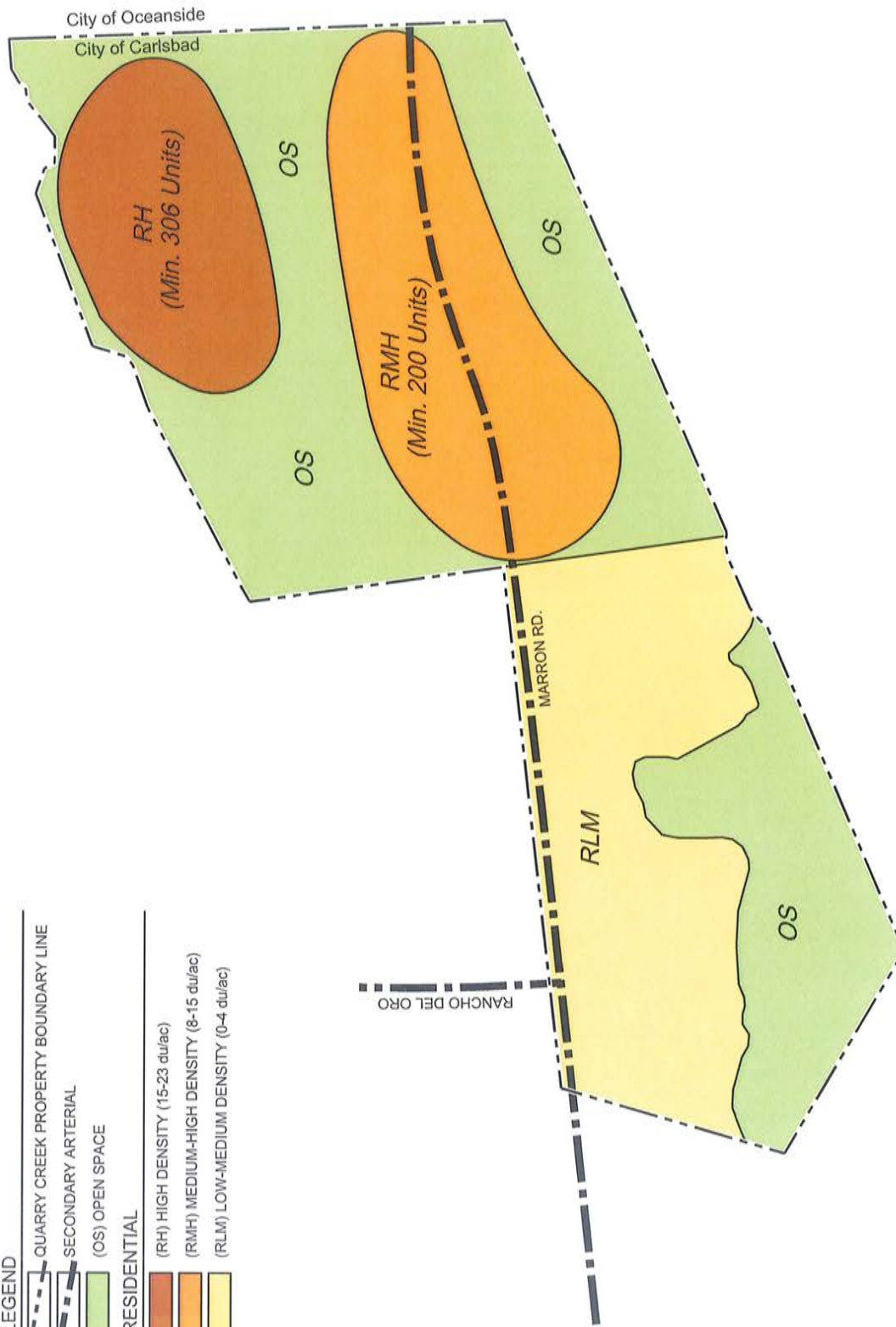
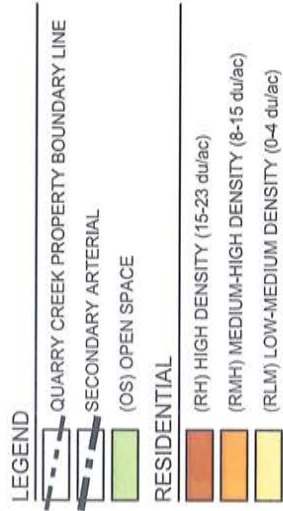


FIGURE 5

Quarry Creek

Master Plan

GENERAL PLAN MAP PER HOUSING ELEMENT APPROVAL

As contained in Section 65450, et. seq. of the California Government Code, no master plan may be adopted or amended unless the proposed master plan or amendment is consistent with the City's General Plan. Thus, in conjunction with this Master Plan, the City will approve a corresponding amendment to the Land Use Element of the General Plan to modify the buildout land uses over the Reclamation Parcel to those consistent with the Housing Element actions. This amendment results in a total maximum of 656 dwelling units over the entire Quarry Creek site.

Therefore, since the Housing Element has been modified to accommodate High and Medium-High density on Quarry Creek, the Quarry Creek Master Plan applicant is following up with a Land Use Element amendment which will modify the residential land uses within this Master Plan to accommodate the units allocated to Quarry Creek in the Housing Element policies. Also, inasmuch as the existing adopted Open Space (OS) land use pattern on the property does not protect the most biologically sensitive sections of the site; the OS land use is being redistributed to areas of greater sensitivity and constraint, in accordance with the requirements of the newly-adopted Habitat Management Plan (HMP) "hardline" for the property.

1.5 Historical Context of the Quarry Creek Master Plan

The Quarry Creek property has, over hundreds of years, gone through a number of significant transformations, including centuries of human use. Therefore, it is the objective of this master plan to address the land use concepts previously discussed, but also to replicate the site's historical balance of human use and resource protection. Importantly, this Master Plan accommodates this transformation in use within the context of an urban environment – making the protection of its natural resources and its history all that more important.

Historically, from approximately 5,000 B.C., the property was within the territory of the native Luiseno Indians. This Luiseno territory generally extended along the coast from Agua Hedionda Creek in Carlsbad, to the southwest to Aliso Creek at the southern limits of present Orange County. This territory extended east as far as Palomar Mountain. Archaeological sites representing the Luiseno people have been recorded along the Buena Vista Creek drainage in the area of Quarry Creek.

The Luiseno were named by the Spanish missionaries who founded Mission San Luis Rey in 1798. The Luiseno occupied a territory that extended from Agua Hedionda Lagoon, in what is now Carlsbad, to the South into Riverside County to the North, eastward to Hemet and Mount San Jacinto and westward to the Pacific Ocean¹. Within this territory, the Buena Vista Creek Valley with its perennial stream provided ideal habitat for Native Americans and early Spanish pioneers.

The Luiseno were hunter gathers able to live off the plants and animals that occurred naturally in their territory. The Spanish missionaries referred to these Native Americans as "diggers" because they were frequently observed foraging for the roots and plants that served as food for the band. Acorns from the live-oak trees that lined Buena Vista Creek provided a major source of nutrition for the Luiseno. Other plants used for food included California

¹ Pechanga Tribal Government, Luiseno Ancestral Territory, <http://www.pechanga-nasn.gov/page?pageId=491>.

buckwheat, cactus, cattails, mushrooms, sunflowers, wild celery, radish and oats². Yucca provided a source of cordage, wild gourds were used as containers and tulles and bulrush were used for fibers and basket making. The grinding stones and manos used to convert these plants to edible uses provide concrete evidence of their past presence in the area. Based on evidence excavated from midden sites, protein sources included shellfish, deer, rabbits, wood rats, birds and insects³.

The Luiseno shelter primarily involved construction of “kfichas” or pit houses that were excavated two to three feet below ground level and then covered with a domed-roof composed of willows, yucca and tulles. A hole in the roof allowed smoke from cooking fires to escape. The semi-subterranean nature of this shelter design kept them cool in summer and warm in winter. Villages often contained a sweathouse, not unlike a modern sauna that was used for purification and other ceremonial uses.

The presence on Buena Vista Creek of El Salto Falls made the Buena Creek Valley unique in the Luiseno territory. Perennial streams were generally uncommon, and perennial streams with water falls were very rare. The falls served as a gathering place and a site of sacred ritual and worship⁴. The El Salto Falls have been identified as a sacred site by the Native American Heritage Commission.

The establishment of missions in California was prompted by the Spanish perception that Russia was threatening to colonize the area. Faced with a shortage of Spaniards in the New World, Spain decided to colonize Southern California using the indigenous people. Father Antonio Peyri was chosen to establish the Mission San Luis Rey and soon governed a population of 3,000 local Native Americans who cared for cattle and cultivated grapes, oranges, olives, wheat and corn in the environs around the mission, including Buena Vista Creek. This farm and pasture area, and the people inhabiting the area became known as the Luiseno⁵.

In 1821, Mexico gained independence from Spain and passed the law of secularization which had the effect of placing the Mission lands under the control of various secular administrators who managed to obtain title to large tracts, leaving little for the Luiseno people⁶.

In 1839 Juan Maria Romuldo Marron applied for a land grant of 13,011 acres that became known as Rancho Agua Hedionda. Quarry Creek and the Buena Vista Valley are located at the northernmost end of the land grant. The land grant was deeded to Juan Maria Romuldo Marron in 1842 and his brother Silvestre Marron was charged with managing the land. Silvestre and his wife, Leonora Marron, and their seven children thus became the first non-indigenous settlers of the Buena Vista Valley which eventually became known as Marron Canyon. The home he built constructed out of adobe and the two California pepper trees he planted remain onsite today as testament to the historic nature of the property⁷.

² Harper, Donna Marie. A View of Vista, Page 2. (1991)

³ Quarry Creek Internal Archaeological Report, Page 14. January 2007)

⁴ Caudell, Diana and Vernon, Mel. Interview quoted by the J. Simms Agency in “History of Quarry Creek.”

⁵ Welcome to the Mission San Luis Rey de Francia. <http://www.sanluisrey.org/>

⁶ Welcome to the Mission San Luis Rey de Francia. <http://www.sanluisrey.org/>

⁷ Caron, Shelley Hayes. The Marron-Hayes Adobe Historic District School Tour Handout 2003

In 1947, Fred Hayes, grandson of Sylvestre Marron, undertook the remodeling and restoration of the home structure, which became known as the Marron-Hayes Adobe. This house currently retains much of its appearance from the 1947 remodel. The house has been determined eligible for the national Register of Historical Places and the California Register of Historical Resources.

In 1973, the Marron family sold the Quarry Creek property to South Coast Material Company. South Coast Material Company (and its subsequent owners) conducted mining operations on the eastern 100-acre portion of the property between 1961 and 1995. Since 1991, the property has been owned and the quarry operated by Hansen Aggregates. Historically, quarry mining operations on the parcel included three industrial operations; (1) quarrying of the hard rock material from the site; (2) the manufacturing of asphalt and concrete products; and (3) reclamation work. All quarrying activities on the property ceased in 1995.

The easterly 100 acres of the property is the subject of a mining reclamation operation. In compliance with the Surface Mining and Recovery Act of 1975 (SMARA), a Reclamation Plan for the quarry site was adopted by the State Mining and Geology Board in 1991. Under SMARA, all mining operations are required to have an adopted reclamation plan that will render the mining site usable per the local zoning and General Plan land uses designated for the property. In this case, the uses are residential, industrial and open space uses.

This approved 1991 Reclamation Plan however adopted a revised alignment for Buena Vista Creek as it traveled through Quarry Creek. In conjunction with approval of a revised Reclamation Plan for the adjacent Quarry Creek commercial center, in 2001 the City of Oceanside included a condition that the Buena Vista Creek be retained within its current alignment (rather than realigned per the 1991 Plan), and that the remnants of El Salto Falls be preserved in place. Also in 2001, El Salto Falls was listed with the Native American Heritage Commission as a sacred site. A new, revised Reclamation Plan, which preserves the natural and culturally-protected Creek alignment and El Salto Falls, was adopted in July, 2010. Grading construction on this new Reclamation Plan began in 2011 and has recently been completed. In 2010, the Quarry Creek Master Plan was submitted to the City of Carlsbad. This master plan proposes a development program of diverse, higher density urban housing on the remaining, non-protected areas of the property. A major goal of this master plan is to provide urban land use within and amongst a culturally-important landscape.

1.6 Consistency with Smart Growth Policies

The San Diego Association of Governments (SANDAG) has incorporated Smart Growth principles in the San Diego Regional Comprehensive Plan which includes the city of Carlsbad. SANDAG defines Smart Growth to be applied in the region as follows:

Smart Growth is a compact, efficient, and environmentally sensitive pattern of development that provides people with additional travel, housing and employment choices by focusing future growth away from rural areas and closer to existing and planned job centers and public facilities while preserving open space and natural resources and making more efficient use of existing urban infrastructure. Smart Growth is characterized by more compact, higher density development in key areas throughout the region that is walkable, near public transit, and promotes good community design. Smart growth results in more

housing and transportation choices for those who live and work in smart growth areas.

The Quarry Creek property has been specifically identified as a SANDAG Smart Growth "community center" site as indicated in the following SANDAG findings:

The [Community Center] opportunity area is located approximately a quarter mile south of SR 78 and approximately 1½ miles south of College Boulevard SPRINTER Station, which provides light/commuter rail service from Escondido to Oceanside. Preliminary discussions have focused on exploring a project that may include several hundred residential units with mid- to high-densities, together with commercial (office and/or retail) uses and possible public gathering places. The opportunity area also is located within close proximity to: SR 78; high frequency local transportation routes; potential rapid bus routes (unconstrained revenue scenario); a retail shopping center containing a Wal-Mart anchor tenant; and, institutional centers that include Tri-City Hospital (within ¾ mile) and Mira Costa College (within 1 mile). Existing transportation routes provide connecting service between the College Boulevard SPRINTER Station and the Quarry Creek area.

The centralized relationship of the Quarry Creek site to the referenced surrounding uses is provided in *Figure 6; Surrounding Uses Map*. In accordance with the SANDAG principles, the Quarry Creek project proposes provision of clustered residential development in a location that is central to urban land uses and services; including the adjacent community retail shopping center, nearby regional retail shopping, emergency services including Tri-City Hospital and the Oceanside Fire Department, and higher education facilities including Mira Costa Community College and Cal State San Marcos.














In a report by the Urban Land Institute's California Smart Growth Initiative's Statewide Coordinating Committee, *Putting The Pieces Together - State Actions to Encourage Smart Growth Practices in California*, eight principles of smart growth were created to serve as framework for smart growth at the state, regional, and local levels. The principles are also used by the committee as recommendations for state initiatives to promote smart growth. The Quarry Creek Plan takes all eight of these recommendations into account through careful consideration of the needs of the region's residents, economy and available resources, as follows:

1. Preserve and enhance California's quality of life. Accommodate growth in ways that use the state's natural and financial resources efficiently, enhance its economic competitiveness, and provide local governments more certain and adequate funding.

Through the provision of high density and medium-high density residential products in the Quarry Creek community, the community will make efficient use of land resources and will be served by logical and proximate connections to existing public infrastructure.

Quarry Creek is the antithesis to sprawl development. Surrounded by development on 75% of its borders, Quarry Creek constitutes essentially an infill project. Provision of higher density clustered development within the non-sensitive areas of the property in a location that is central to urban land uses and services.

LEGEND

-  QUARRY CREEK SITE
-  ELEMENTARY/MIDDLE SCHOOL
-  HIGH SCHOOL
-  HOSPITAL
-  PARK
-  RETAIL SHOPPING
-  REGIONAL SHOPPING
-  MAJOR EMPLOYMENT
-  AUTOMOBILE RETAIL
-  GOLF COURSE
-  COMMUNITY COLLEGE
-  MAJOR TRANSPORTATION CORRIDOR
-  FUTURE MAJOR TRANSPORTATION CORRIDOR

DISTANCE FROM SITE

-  1/2 MILE RADIUS
-  1 MILE RADIUS
-  2 MILE RADIUS

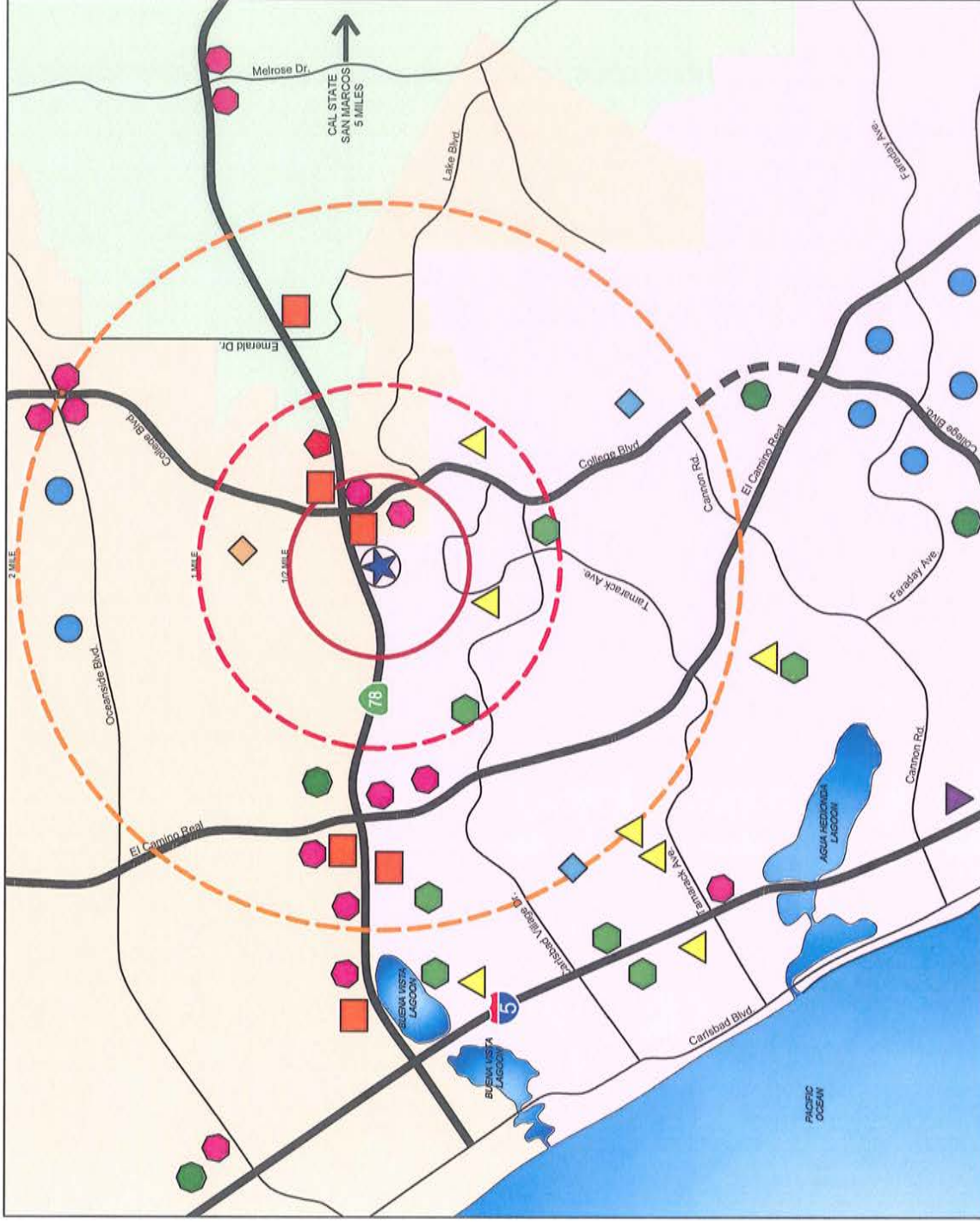


FIGURE 6

SURROUNDING USES MAP

Quarry Creek

The project has been designed to encourage alternative modes of transportation and will maximize the opportunity to utilize efficient transit through its location adjacent to Hwy. 78, and integrating a Park & Ride facility into its design. Further, Quarry Creek will be an economically beneficial community that will support the local jurisdiction by providing increased revenues in the form of property taxes while providing the public facilities necessary to serve the development concurrently with need.

2. Create viable and livable communities. Ensure that existing communities remain or become vital and healthy places that provide opportunities for all residents to live, work, recreate, obtain a good education, and raise a family.

The design of development within Quarry Creek will be an important factor in defining the character of daily life within the community. Development will include residential, public and open space uses located within a single, cohesive community. The project will also provide convenient access to both neighborhood and community serving retail, service, educational and entertainment opportunities within a short distance to its residents within walking distance of every residential unit. These uses will all be connected by a pedestrian-oriented network of streets, trails, and paseos that will link destinations within the project as well as providing connections to outside destinations.

Internal recreation elements and enhanced walkability will be an important part of the Quarry Creek community design. The neighborhood park and recreation spaces, in the form of urban open space, will be well integrated into the urban fabric to create the critical “place-making” features that foster community identity and social interaction. Public nature trails and enhanced streetscapes will build connections to nature and cultural destinations, while trailheads will create identifiable nodes that encourage public gathering.

3. Invest in transportation linked to efficient land uses. Strengthen the links between transportation funding decisions and smart growth practices. Support smart growth practices with efficient transportation planning and investment strategies.

The land planning for Quarry Creek acknowledges the need for vehicular traffic, but the emphasis has been placed on access to alternative forms of transportation to the degree possible. Public transit access is integral to the community. A regional and local serving bus transit service line will run in on Marron Road and College Boulevard connecting Quarry Creek to employment and facilities outside the community. A transit stop has been integrated into the Haymar Drive streetscape design across from the Park & Ride lot. In addition to the access to the services, the high residential densities in the project will directly support and enhance convenient transit viability.

Regional pedestrian and biking trails on internal roadways provide access to adjacent neighborhoods and villages, and the onsite open space preserves. Pedestrian trail access is provided to the adjacent shopping center to the east. Jogging trails have been provided throughout the community connecting to the project’s sidewalks, paseos, recreation areas and plazas to create a complete pedestrian network that will serve the community’s residents. A trailhead center is provided to offer pedestrian and bicycle connectivity and linkage to open spaces and destinations west of the Quarry Creek site, including the Buena Vista Creek Ecological Reserve (BVCER). An offsite trailhead is also provided at the existing [western] terminus of Marron Road (located approximately 1/8 mile east of

El Camino Real to allow for regional pedestrian connectivity through the BVCR between Quarry Creek and points west, including the El Camino Real area. The provision of the Park & Ride Lot will encourage regional carpooling and car sharing for residents of the community. These uses will reduce greenhouse gas emissions generated from automobiles and trucks owned by the residents of the community.

4. Enhance housing opportunities. Support policies to increase the supply and affordability of housing to meet the needs of California families.

Residential development will include approximately 656 units in a variety of product types that will appeal to a wide cross section of home buyers. Residential products may include apartments, lofts, flats, townhomes, carriage units, and attached and detached condominiums. Both rental and for-sale units may be provided. In addition, a high percentage of the units in Quarry Creek will meet the higher density criteria to qualify (per State Guidelines) as affordable to low and moderate income buyers. Such a diverse mix of housing options will enhance the energetic character of the community.

The project will re-use and reclaim areas that have been historically disturbed and excavated by previous mining activities. It replaces the rock quarry with residential and public uses, and implements and establishes consistency with the requirements and policies of the Carlsbad Housing Element.

5. Preserve open space, natural resources, and the environment. As much as possible, locate new developments in or adjacent to existing communities, so as to protect air and water quality, conserve wildlife habitat and natural land features and systems, and provide green space for recreation and other amenities,

The Quarry Creek project preserves a significant portion of the property as permanent open space, in accordance with the Carlsbad HMP. The Quarry Creek Master Plan clusters the development (residential, public, public uses, community facilities and roads) within the most disturbed and non-sensitive portions of the property, adding over six (6) acres to the HMP hardline open space. The plan preserves and protects El Salto Falls and other culturally significant resources, and Buena Vista Creek in perpetuity. It complies with the Carlsbad HMP in providing protection and enhancement of sensitive biological resources and habitat corridors. Public trails aligned adjacent to the open space preserves will enhance the living environment of the residents. Both an environmental and a planning buffer are provided to set the development back from the Buena Vista Creek wetlands. No development will encroach into the environmental buffer. No structures or roads will encroach into the planning buffer.

6. Preserve farmland. To the extent possible, avoid the conversion of California's prime agricultural land to other uses.

The Quarry Creek site contains "unique farmland" and "farmland of statewide importance" as shown on the State of California San Diego County Important Farmland – 2008 map. However a specific California Land Evaluation and Site Assessment (LESA) model has been conducted of the characteristics of the site. This model concluded that the site scores below the threshold level of containing significant agricultural resources, primarily due to the fact that much of the topsoil of the property has been scrapped as a result of the historical quarry activities and reclamation. As a result, the property is

determined to not possess prime agricultural land. This fact will be analyzed and verified through the EIR analysis.

7. Address growth issues regionally. Foster collaboration among state, regional and local governments to solve problems that are regional-and not local in-nature.

The Quarry Creek site has been identified by SANDAG as a Planned Smart Growth community center site. This master plan plan not only acknowledges that designation, but takes to heart the principles and incorporates features consistent with the draft Sustainable Communities Strategy, adopted by SANDAG in October, 2011. These principles embrace compact, efficient and environmentally sensitive patterns of development that provide people with higher density housing in locations adjacent to shopping and other facilities.

8. Seek solutions at the grass roots. Educate and engage the community because grass-roots, community-centered processes and procedures are essential elements of smart growth.

The Quarry Creek applicant has engaged the community and local and regional community groups through an ongoing series of presentations and received public input. Educational kiosks are planned throughout the public pedestrian walks and trails which will provide information with a local historical, cultural focus. Maps of physical and land use features, and local events of the community will be provided in the community facilities areas. Thus, the project will include design features intended to educate the residents and visitors on their environment and community.

These concepts result in a master plan which provides a balance of relatively dense, urban residential land uses, with safe, useful and lively public use areas, surrounded by large areas of environmental and historical open space preserves. These land uses are identified with greater specificity in Chapter 2 of this plan.

2 PLANNING CONCEPT AND BACKGROUND

This Quarry Creek Master Plan provides the development regulations for the 156-acre Quarry Creek property. It provides for a comprehensive planning approach to the development of the property in a manner which cannot be accomplished on a parcel-by-parcel basis. To achieve this goal, a number of important issues were examined, analyzed and considered during the preparation of this document, including the City of Carlsbad's Habitat Management Plan, the General Plan, Carlsbad Zoning Regulations, the Growth Management Plan, the Hillside Development Ordinance, the Planned Development Ordinance, Livable Communities Policies (Council Policy No. 44), and input from local interested parties.

2.1 Master Plan Concept

As mentioned in Chapter 1 of this master plan, the fundamental concepts behind Quarry Creek are the efforts to provide a plan for a sustainable community reflecting its prime location in relation to surrounding urban services. Other on-site planning priorities of the project are to protect El Salto Falls and Buena Vista Creek, comply with the Carlsbad HMP, provide replacement land uses for the rock quarry, and provide an urban, residential community, consistent with the adopted Carlsbad Housing Element and regional Smart Growth policies.

In the urban sustainable community, there is an effort to efficiently use the available land, and to relate development areas to each other in an effort to reduce travel distances for day-to-day uses. The sustainable village has extensive open space and greenways; and residential uses are clustered in close proximity to shopping or working areas. Stores, entertainment, mass transit, pocket parks and open space will all be within walking distance of homes or easily accessible by a short drive off the site. The close proximity of a variety of housing units to transit and shopping greatly reduces the carbon footprint from the typical suburban, segregated-use development.

More specifically, in an effort to develop a sustainable community in the context of an environmentally, socially and economically-beneficial development, the Quarry Creek plan incorporates three main land use categories; open spaces, public use, and residential areas.

2.1.1 Open Spaces

The convenient availability, quality and utility of naturally-beautiful open spaces appeals to community residents in an urban setting. Quarry Creek will ensure the permanent protection of 56% of its site, including its most unique natural and cultural features while optimizing the use of the remaining, non-protected areas of the site that are designated and well-suited for

development. Conservation of important natural features, including the steep slopes on the southern perimeter, the El Salto Falls and Buena Vista Creek through the center of the site, wetlands in the north-center, and tributary ephemeral streambeds in the southwest panhandle have been set aside for protection from development. Some of these protected areas will be biologically restored to ensure long-term biological viability. Hiking trails, shade trees and other passive recreation areas are interspersed in the plan to ensure availability and utility of open spaces to the degree that these uses are compatible and not destructive of the environmentally beneficial uses of these spaces. These large open spaces will be the subject of a permanent conservation easement and funding will be provided for permanent management.

In light of these factors, it is concluded that the Quarry Creek project protects the most biologically important areas of the property, clustering the development (residential, public use, community facilities and roads) within the most disturbed and non-sensitive portions of the property. This planning effort leaves the balance of the property (areas of high environmental quality) as protected open spaces.

2.1.2 Public Use Areas

Public use areas are dispersed throughout the buildable areas of the Quarry Creek property. The public use areas will make up over 8% of the developed community and are intended to encourage pedestrian activity through a logical connection of trails, sidewalks, public vehicle parking, bicycle facilities, and community uses, all within a short walk from residential neighborhoods. Signs and maps will guide people to community areas, and to on-site transportation options, open space trails, and describe the environment and native heritage of the area. A Community Facilities site is provided at the Marron Road entry to the site from the east, in a location proximate to both the Quarry Creek residential neighborhoods and the adjacent off-site commercial center. Seating and gathering areas will be provided in public use areas to encourage conversation and a high level of community interaction.

Separately, an offsite trailhead will be provided approximately 4,000 feet westerly of the Quarry Creek site, at the existing western terminus of Marron Road, located approximately 1/8 of a mile east of El Camino Real. This trailhead will contribute beneficially to the public access to Quarry Creek across the open spaces to the west of the site.

2.1.3 Residential Uses

Within the centralized, non-constrained, buildable portions of the Quarry Creek site, the project will contain diverse residential neighborhoods, appropriate for both for sale and for rent, attached and detached residences. Direct connections between these residential areas and the offsite existing commercial uses will be provided in order to allow for a convenient mix of uses. The residential uses will include recreation and social activity areas in order to foster healthy, vibrant and efficient neighborhoods.

As planned in this Master Plan, Quarry Creek will contain five residential neighborhoods over approximately 31% of the project site. Some of these neighborhoods may be developed together as a single neighborhood. Two of the neighborhoods (both north of the Buena Vista Creek) will be developed with high density, meaning a net residential density of at least 20 dwelling units per acre. These sites provide this density in order to concentrate the highest intensity urban development on the most impacted [heavily mined] land in order to conserve

the largest areas of habitat and other resources of the property. The remaining residential areas (south of the Buena Vista Creek) will be developed at medium-high densities of at least 12 dwelling units per acre, with some allowance for reduced densities for units above the 506 unit minimum requirement adopted in the City of Carlsbad Housing Element, discussed more specifically later in this chapter. Upon buildout of the Master Plan area, the development areas of the Quarry Creek Master Plan will contain a maximum total of 656 dwelling units in a range of product types, densities and price ranges, including both market-rate units and dwelling units provided under the City's Inclusionary [affordable] Housing Ordinance.

2.2 General Plan

The Quarry Creek Master Plan is adopted by ordinance by the City Council of Carlsbad. The Master Plan is the document which creates a link between the broad-based General Plan policies and the individual development proposals and building design for the planning areas within the Master Plan area. In order to ensure land use policy consistency, the applicant is also processing a general plan amendment in conjunction with the processing and approval of this Master Plan. As discussed below, the General Plan amendment will modify the Land Use Element to accommodate land uses consistent with those approved in the amended City of Carlsbad 2005-2010 Housing Element, and will also propose to eliminate the westward extension of Marron Road and the Rancho Del Oro Road extension from the Circulation Element. The General Plan Amendment will also amend land uses to provide consistency with the requirements of the Carlsbad HMP and designate open spaces per the Open Space and Conservation Element.

2.2.1 Land Use Element

The existing City of Carlsbad General Plan land use designations for the project site are shown in *Figure 7; Existing General Plan Land Use Map*. These existing designations are however, presently in conflict with the December 23, 2009 adoption of the updated City of Carlsbad 2005-2010 General Plan Housing Element policies dictating modification of the land uses on the Reclamation Parcel to Residential-High and Residential-Medium-High densities. This adopted Housing Element dictates that in order for the City to ensure that adequate residential acreage is available to meet the City's Regional Housing Needs Assessment (RHNA), that the City will implement a General Plan Amendment to the Land Use Element to redesignate a minimum net acreage to accommodate at least 306 high density (≥ 20 du/ac) and 200 medium-high density (≥ 12 du/ac) housing units on the Quarry Creek Reclamation Parcel site. Thus, existing adopted City housing policy for the Quarry Creek Reclamation parcel stipulates construction of a minimum of 506 residential units, although the specific location of these units on the Reclamation Parcel was not defined. Through adoption of these minimum densities, all of these 506 units qualify to satisfy the City's RHNA requirements for low and moderate affordable housing per State guidelines. The Housing Element changes did not affect the Panhandle parcel, which currently possesses low-medium density residential and open space land uses.

Therefore, in order to establish consistency with and implement the requirements of the updated Housing Element, a General Plan Amendment to the Land Use Element will be approved concurrently with this Master Plan. The exact location of the 506 will be defined in the Land Use Element Amendment and [in greater detail] in this Master Plan. Further, this General Plan Amendment will advance [provide larger and improved connection links with

greater consistency with the HMP] the open space configuration for the property. *Figure 8; Proposed General Plan Land Use Map*, illustrates the general location and distribution of the amended General Plan Land Use Designations. These land use changes, Shown in Tables A and B below, reflect existing and amended land uses, respectively.

Table A: Existing General Plan Land Use Element Designations

Existing General Plan Designation	Description	Density Range (du/ac)	Uses	Growth Control Point
RLM	Residential Low Medium	0-4	Single Family Residential	3.2 du/ac
OS	Open Space			

Table B: General Plan Designations Reflecting Amended Housing Element Policy

Amended General Plan Designation	Description	Density Range (du/ac)	Uses	Minimum Density/DU's
RH	Residential High	15-23	Condos Apartments	20 du/ac*
RMH	Residential Medium High	8-15	Attached or Detached Cluster Condos	12 du/ac**
OS	Open Space			

* A minimum of 306 units of high density residential product (min. 20 du/ac) shall be provided.





** A minimum of 200 units of medium-high density product (min. 12 du/ac) with the balance allowed at lower densities within the medium-high density range.

2.2.2 Circulation Element

Marron Road and Rancho Del Oro are Circulation Element roadways that are currently shown on the General Plan (Rancho Del Oro to only be included if a freeway interchange is added) to ultimately extend through the project site in an east-west direction from College Boulevard westerly to its existing terminus approximately 1.3 miles away to the west. Marron Road is designated as a four-lane Secondary Arterial road. However, traffic studies have concluded that no measurable traffic distribution benefits accrue from inclusion of this roadway link in the circulation plan, and thus its construction is not warranted. Further, the alignment of this Marron Road link must necessarily traverse through the environmentally-sensitive Buena Vista Ecological Reserve (State of California-owned) and associated wetlands ecological reserve, located westerly of the Quarry Creek site.

As a result of these factors, this Master Plan proposes to eliminate the thru-connection of Marron Road and instead the Master Plan design stops the westward extension of this roadway at Quarry Creek. As a result of the fact that Marron Road will be stubbed and not thru-connected, a vehicular turn-around and trail parking lot will be provided within the existing right-of-way at the existing opposite terminus of Marron Road (located offsite approximately 1/8 of a mile east of El Camino Real).

LEGEND

-  QUARRY CREEK PROPERTY BOUNDARY LINE
-  SECONDARY ARTERIAL
-  (OS) OPEN SPACE
- RESIDENTIAL**
-  (RLM) LOW-MEDIUM DENSITY

SOURCE:
City of Carlsbad General Plan Land Use Map (January 2011)



FIGURE 7

Quarry Creek

Master Plan

EXISTING GENERAL PLAN LAND USE MAP

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LEGEND

	QUARRY CREEK PROPERTY BOUNDARY LINE
	ROADS
	(OS) OPEN SPACE
	(CF) COMMUNITY FACILITIES
RESIDENTIAL	
	(RH) HIGH DENSITY (15-23 DU/AC)
	(RMH) MEDIUM-HIGH DENSITY (8-15 DU/AC)

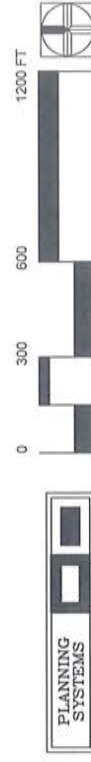


FIGURE 8

Quarry Creek

PROPOSED GENERAL PLAN MAP (PER APPLICANT REQUEST)

Master Plan

On the Quarry Creek project, collector roadways are planned to provide a loop connection over a bridge crossing Buena Vista Creek, to Haymar Drive, which ultimately leads back to College Boulevard. This loop extension of Marron Road is called Street 'A' for purposes of this Master Plan. Since the projected traffic ADT on this loop Street 'A' roadway pattern does not necessitate a large roadway design, the Quarry Creek plan requests an amendment to the Carlsbad Circulation Element proposing downgrading of Marron Road from a secondary arterial to a collector street, which will remove it from the Circulation Element. Please see the *Proposed General Plan Map, Figure 8*.

The elimination of the thru-connection of Marron Road will also result in the elimination of the Rancho del Oro connection from the city of Oceanside to Marron Road. The existing Carlsbad Circulation Element classifies Rancho del Oro as a secondary arterial roadway to be constructed only if a freeway interchange with Hwy. 78 is provided. As a result of the proposed elimination of the Marron Road extension for the reasons indicated above, the project also proposes elimination of the Rancho del Oro connection from the Circulation Element. The elimination of the Rancho del Oro connection to Marron Road does not specifically preclude the future construction of a Rancho del Oro interchange from Oceanside at Hwy. 78.

2.2.3 Open Space and Conservation Element

The Open Space and Conservation Element requires protection of lands which include significant natural resources, steep canyons and hillsides, wetlands, riparian areas, recreation areas and other buffers and greenways. The land use pattern proposed in this Master Plan protects and conserves these areas in accordance with the goals, objectives and policies of the Open Space and Conservation Element. Approximately 87.9 acres of the property consists of open space and conserved areas. More specific discussion of the Quarry Creek open space program is included in Chapter 3 of this Master Plan.

2.3 Zoning Regulations

A zone change of the property from the existing Industrial (M) and Single-Family Residential (R-1-10,000) Zoning to Planned Community (PC) is also proposed. The PC Zone is more appropriate because it allows for development consistent with the General Plan, and it also requires that a Master Plan be approved prior to any development on the site. Thus, the Quarry Creek Master Plan constitutes the zoning standards for the area contained within the plan boundaries, as provided for by the Planned Community Zone, Section 21.38 of the Carlsbad Municipal Code. All provisions of the Master Plan are imposed as a condition of zoning. Underlying Master Plan Land Use zoning for each neighborhood has been adopted through this Master Plan. In a number of cases the standards of the underlying Master Plan zones have been modified from the Carlsbad Municipal Code. Therefore, the specific neighborhood area development standards of this Master Plan must be consulted as they apply to the Master Plan area. The zoning information specific to each Quarry Creek planning area is articulated in Chapter 4 of this master plan. *Existing Zoning and Proposed Zoning* are shown on *Figures 9 and 10*, respectively.

LEGEND

- QUARRY CREEK PROPERTY BOUNDARY LINE
- (R-1) ONE - FAMILY RESIDENTIAL
- INDUSTRIAL

SOURCE:

City of Carlsbad Zoning Map (November 2009)



FIGURE 9

Quarry Creek

EXISTING ZONING MAP

LEGEND

-  QUARRY CREEK PROPERTY BOUNDARY LINE
-  (P-C) PLANNED COMMUNITY

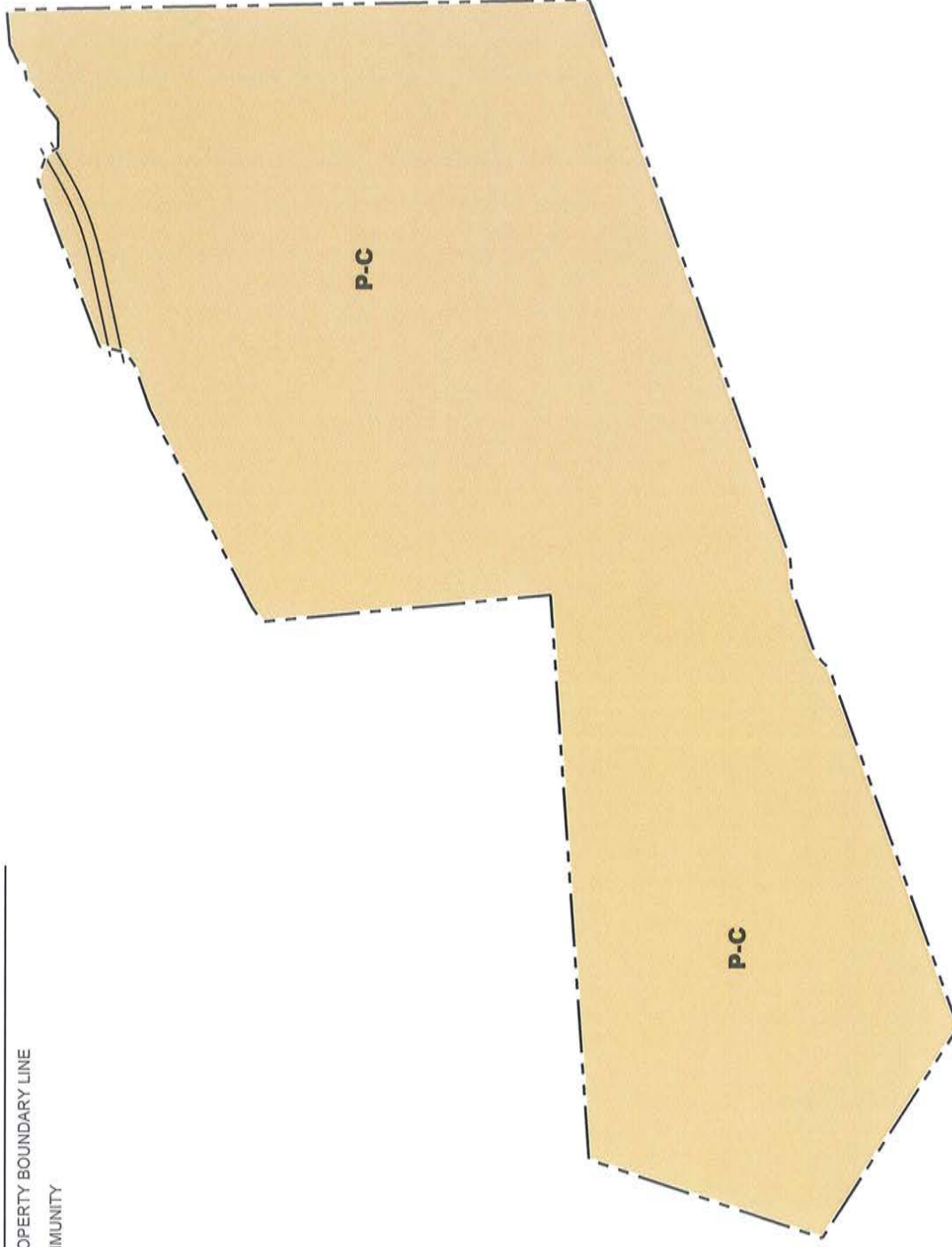


FIGURE 10

Quarry Creek

Master Plan

PROPOSED ZONING MAP

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This Master Plan complies with Chapter 21.38 of Carlsbad Municipal Code, Planned Community Zone (P-C Zone) and shall constitute the zoning for all lands within the Master Plan. No person shall use or develop any land located within the boundaries defined by the Master Plan in a manner which is contrary to the provisions of the Master Plan. Approval of this document does not affect the applicability of all other City ordinances in effect at the time building permits are issued. Pursuant to Section 21.38.030(d) of the City of Carlsbad Municipal Code, where a conflict in regulation occurs, the provisions of this Master Plan shall control.

Uses and development standards allowed in each Planning Area are indicated in Chapter 4, INDIVIDUAL PLANNING AREA DEVELOPMENT REGULATIONS of this Master Plan. Uses which would be allowed as conditional uses shall be permitted only upon obtaining a Conditional Use Permit processed according to the applicable provisions of the Carlsbad Municipal Code. This Master Plan has been prepared in compliance with the following four goals in Section 21.38.010 of the Planned Community Zone, in the Carlsbad Municipal Code:

1. Provide a method for and to encourage the orderly implementation of the General Plan and any applicable specific plans by the comprehensive planning and development of large tracts of land under unified ownership or developmental control so that the entire tract will be developed in accordance with an adopted master plan to provide an environment of stable and desirable character;
2. Provide a flexible regulatory procedure to encourage creative and imaginative planning of coordinated communities involving a mixture of residential densities and housing types, open space, community facilities, both public and private and, where appropriate, commercial and industrial areas;
3. Allow for the coordination of planning efforts between developer and City to provide for the orderly development of all necessary public facilities to insure their availability concurrent with need; and
4. Provide a framework for the phased development of an approved master planned area to provide some assurance to the developer that later development will be acceptable to the City, provided such plans are in accordance with the approved planned community master plan.

2.4 Number of Units Allocated to Quarry Creek

As required by the City of Carlsbad regulations, the Quarry Creek land use plan proposes a clustering of the development areas within the buildable [or “unconstrained”] areas of the Quarry Creek property. However, the Quarry Creek property possesses an extraordinary history of land use regulations and requirements. The following is an analysis of the methods of calculating the number of units that can be accommodated on the property, per the City of Carlsbad regulations.

2.4.1 Constraints Analysis – Existing General Plan Land Use Map

Pursuant to Carlsbad Zoning Code Section 21.53.230, the City of Carlsbad identifies the characteristics of constrained areas, and requires all constrained areas to be identified prior to

approval of entitlements. Thus, constrained areas have been identified on the Quarry Creek site as:

1. Beaches – None onsite;
2. Permanent bodies of water – These include the Buena Vista Creek streamcourse, El Salto Falls, associated wetlands, and streamcourses, and freshwater marsh habitats;
3. Floodways – the Buena Vista Creek floodway;
4. Natural slopes in excess of 40% - Steep slopes with an inclination of in excess of 40%;
5. Significant wetlands – Wetlands and freshwater marsh habitats;
6. Significant riparian or woodland habitats – Riparian habitats
7. Major power transmission easements – None onsite;
8. Other significant environmental features - Significant patches (non-isolated) of sensitive upland vegetation communities such as coastal sage scrub and southern mixed chaparral;
9. Railroad track beds – None onsite;
10. Slope areas of 25% to 40% inclination were avoided to the degree feasible and achieve only ½ density calculation;
11. Areas shown as open space on the Carlsbad General Plan Open Space Map;
12. HMP preserve areas (as amended).

The areas that remain after eliminating the above constrained areas are considered to be available for development per the City of Carlsbad General Plan and Zoning regulations, and allowed for residential density calculation credit per the existing General Plan Land Use Element Map. The Constraints Analysis calculations per the Existing Land Use Map results in 293 allowed residential units on the Quarry Creek property. Please see Table C below.

Table C: Units Allowed per Constraints Analysis (Existing G.P. Land Use Map)

Land Use Designation	Gross Acreage	Net Acreage	Growth Control Point	Allowed Residential Units
Residential – Low Medium	110.6	91.8	3.2 du/ac	293
Open Space	45.4			
TOTAL	156.0	91.8		293

Therefore, as a result of this Constraints Mapping analysis, a total of 91.8 net acres is determined to be developable over the 156.0 acre Quarry Creek property. Per the requirements of CMC Chapter 21.53.230, this net acreage is multiplied by the presently-approved General Plan Land Use Element land use Growth Control Points in order to determine the allowed residential units on the property. This maximum allowed residential unit count is 293 units, as shown on the table above.

This Land Use Element Map is not, however, consistent with recent action on the Carlsbad Housing Element by the Carlsbad City Council.

2.4.2 Adopted Housing Element Unit Allocation

On December 22, 2009, the Carlsbad City Council approved an updated Housing Element to the Carlsbad General Plan which directed that land uses on the Reclamation Parcel of Quarry Creek be changed to redesignate a minimum net acreage to accommodate at least 306 high

density (≥ 20 du/ac) and 200 medium-high density (≥ 12 du/ac) housing units on the Quarry Creek Reclamation Parcel site. This action was followed-up by a redistribution of an additional 6 unit transfer from other property in Carlsbad to supplement the high density units. Thus, existing adopted City housing policy for the Quarry Creek Reclamation parcel stipulates construction of a minimum of 506 residential units, although the exact location of these units on the Reclamation Parcel must be identified through an amendment to the Land Use Element and [more specifically] through approval of this Master Plan. Although the Housing Element adopted this allocation of 506 units, the amendment to the Land Use Map (for General Plan consistency) has not yet been completed, and is thus proposed with this Master Plan package. Although the Housing Element changes did not affect the Panhandle parcel, a Constraints Analysis of the Panhandle parcel (which is designated with low-medium density residential land use) allows for 71 Residential Low-Medium (RLM) units. Therefore the number of units allowed on the Quarry Creek property *pursuant to the Housing Element Unit Allocation is shown on Table D.*

Table D: Quarry Creek Units Allowed per Housing Element Adoption

	Housing Element Allocation	Land Use Element Constraints Analysis Net Acreage	Growth Control Point	Allowed Residential Units
Reclamation Parcel	506 du			506
Panhandle Parcel		22.3 ac.	3.2 du/ac	71
TOTAL				577

Therefore, in consideration of the City Council action allocating 506 units to the Reclamation Parcel and the Constraints Analysis conclusion of 71 units (22.3 net buildable acres multiplied by the Growth Control Point of 3.2 du/ac) on the Panhandle Parcel, a total of 577 units are currently allocated to the Quarry Creek site.

2.4.3 Constraints Analysis – Updated General Plan per Housing Element

Notwithstanding that the Housing Element and the Land Use Element of the Carlsbad General Plan have not yet been made consistent through a Land Use Element Amendment; a Constraints Analysis of the Quarry Creek property pursuant to Carlsbad Zoning Code Section 21.53.230 (constraints identified above) has been conducted assuming RH and RMH land uses on the Reclamation Parcel. These land uses reflect the City Council action on the Housing Element. The Reclamation Parcel is bisected by Buena Vista Creek and its buffers. For land use planning purposes, the RH land use has been placed within the unconstrained buildable area on the north side of Buena Vista Creek, and the RMH land use has been placed on buildable acreage on the south side of the creek. Using these assumed acreages, a Constraints Analysis assuming the distribution of RH, RMH (Reclamation Parcel) and RLM land uses (Panhandle Parcel) over the property has been further conducted. In light of the fact that the Housing Element Amendment did not affect the Panhandle Parcel, the standard 22.3 net acres (71 du) was assumed for that parcel. In addition, the existing HMP adopted Hardline was utilized for the residential/open space land use boundaries. Please see Table E below.

Table E: Units Allowed per Constraints Analysis – Assumed Updated per Housing Element

	Gross Acreage	Net Acreage	Assumed Minimum Density	Allowed Residential Units
Residential - High	25.7	21.4	20.0	428
Residential – Medium High	30.2	24.1	12.0	289
Residential – Low-Medium	27.2	22.3	3.2	71
Open Space	72.9	0.0	0.0	0.0
TOTAL	156.0			788

Therefore, this fully-updated Constraints Analysis concludes that the proposed Amendment of the Land Use Element on the Reclamation Parcel to RH and RMH in order to achieve consistency between the Housing Element and the Land Use Element will result in a total of 788 units allowed on the Quarry Creek property, based on a Constraints Analysis of the property with the Housing Element land uses placed on the site, the updated biological report information, and the existing approved Hardline limits of development.

2.4.4 Proposed Master Plan Unit Count

As discussed in detail in Chapter 3 of this Master Plan, this Plan proposes a total of 656 dwelling units. In relation to the above Constraints Analyses, the 656 unit count is less than the number allowed per the updated Constraints Analysis calculations. See Table F below.

Table F: Comparative Analysis – Quarry Creek Units Allowed

ANALYSIS	GEN. PLAN CONSISTENCY	UNITS
Constraints Analysis per Existing Land Use Element	Not Consistent with Housing Element	293
Adopted Housing Element Unit Allocation	Location and distribution of Housing Element RH and RMH land uses is undefined in Land Use Element	577
Constraints Analysis per Housing Element (Amended Land Use Element)	Full consistency between Housing Element and Land Use Element	788

As a result of the fact that the Land Use Element Map is not consistent with the Housing Element or the HMP, an amendment to the Land Use Element is proposed with this Master Plan to provide consistency with the Housing Element and the HMP, and to accommodate the community described in this Master Plan. *The 656 units proposed in this Master Plan will be clustered within only 48.9 acres (31%) of the Quarry Creek site. The existing Land Use Element shows residential uses over 71% of the property.* This reinforces the benefits of the development design concept which clusters development on the unconstrained portions of the property per the land use pattern demonstrated in this Master Plan.

2.4.5 Withdrawal from Excess Dwelling Unit Bank

As mentioned, this Master Plan proposes 656 dwelling units. The proposed 656 dwelling units necessitates the need to withdraw available units from the City's Excess Dwelling Unit Bank (EDUB) for the Northeast Quadrant. The exact number withdrawn depends upon the City Council determination of the number presently allocated pursuant to the Constraints Analyses options discussed above. Please see Table G.

Table G: Withdrawal from Excess Dwelling Unit Bank

ANALYSIS	UNITS	REQUIRED FROM EDUB
Existing Allocation	293	
Adopted Housing Element Unit Allocation	577	284
Proposed Master Plan	656	+79
Total Units Required from EDUB		363

2.5 Description of Master Plan Uses

The Quarry Creek Master Plan is an effort to provide a regulatory land use document which, when implemented, will provide; (a) a sustainable community, (b) protection of El Salto Falls and Buena Vista Creek, (c) compliance with the Carlsbad HMP, (d) replacement of the rock quarry with attractive urban development, and (e) consistency with adopted Smart Growth policies.

Quarry Creek is considered an urban, high density, sustainable community. The project is within walking distance of community and neighborhood retail shopping, is transit-accessible and will include a Park & Ride lot in order to encourage commuter vehicle sharing. The site is located on a bus transit route and adjacent to Hwy 78. Bicycling and walking will be encouraged within the project. Bike routes provided on the Quarry Creek streets will connect to the City's regional trail system to provide bicycle commuting and recreational use opportunities. Bicycle racks will be distributed throughout neighborhoods, while bicycle storage facilities will be encouraged. Residential housing design and materials will encourage energy efficiency. Neighborhood streets and sidewalks will be pedestrian-oriented, properly illuminated and will provide connections to the open space network and to adjoining neighborhoods. Roads will be designed to minimum widths to calm traffic and encourage walkability. Multi-family homes use less energy for space heating and cooling, and less water consumption, than typical single-family detached homes.

To this end, this Master Plan is produced in the context of an environmentally, socially and economically-beneficial development and thus incorporates three main land use categories; open spaces, public use, and residential areas. For purposes of this Master Plan, land use districts within Quarry Creek have been broken up into 14 separate planning areas. The planning areas have been placed so as to provide a land use transition between the intensive commercial activity at the existing Highway 78 (north) and Quarry Creek Commercial Center (east), and the low-intensity BVCER (west). Thus the more dense residential and community facility land uses are situated within the eastern and northern sections of the property, and the less dense residential and natural uses are situated to the south and west.

The land uses have also been chosen to provide residents the opportunity to live, shop, and enjoy open space, public trails and passive recreational facilities within or in close proximity to their own community. As a result, each of the planning areas has a distinct, allowed land use, physically linked by a Plan-wide pedestrian circulation system, thematically linked through the implementation of strong, consistent landscape design theme and related architecture, as provided in this Master Plan. These landscape and architectural elements implement the goals of this Master Plan, and ensure high quality development and recognizable community identities, while providing the architectural and landscape design flexibility necessary to successfully accommodate future market demands. In addition, the project design has incorporated the requirements of the City's Livable Neighborhood Policy and Livable Streets Ordinance and reflects smart growth elements, as exemplified by features associated with Sustainable Communities.

When fully implemented, Quarry Creek will provide over 87 acres of open spaces, over 8 acres of public use areas, on the property. This allows for maximum of 656 clustered residential units on the remaining 48.9 acres. More specifically these land uses are described as follows:

2.5.1 Open Spaces

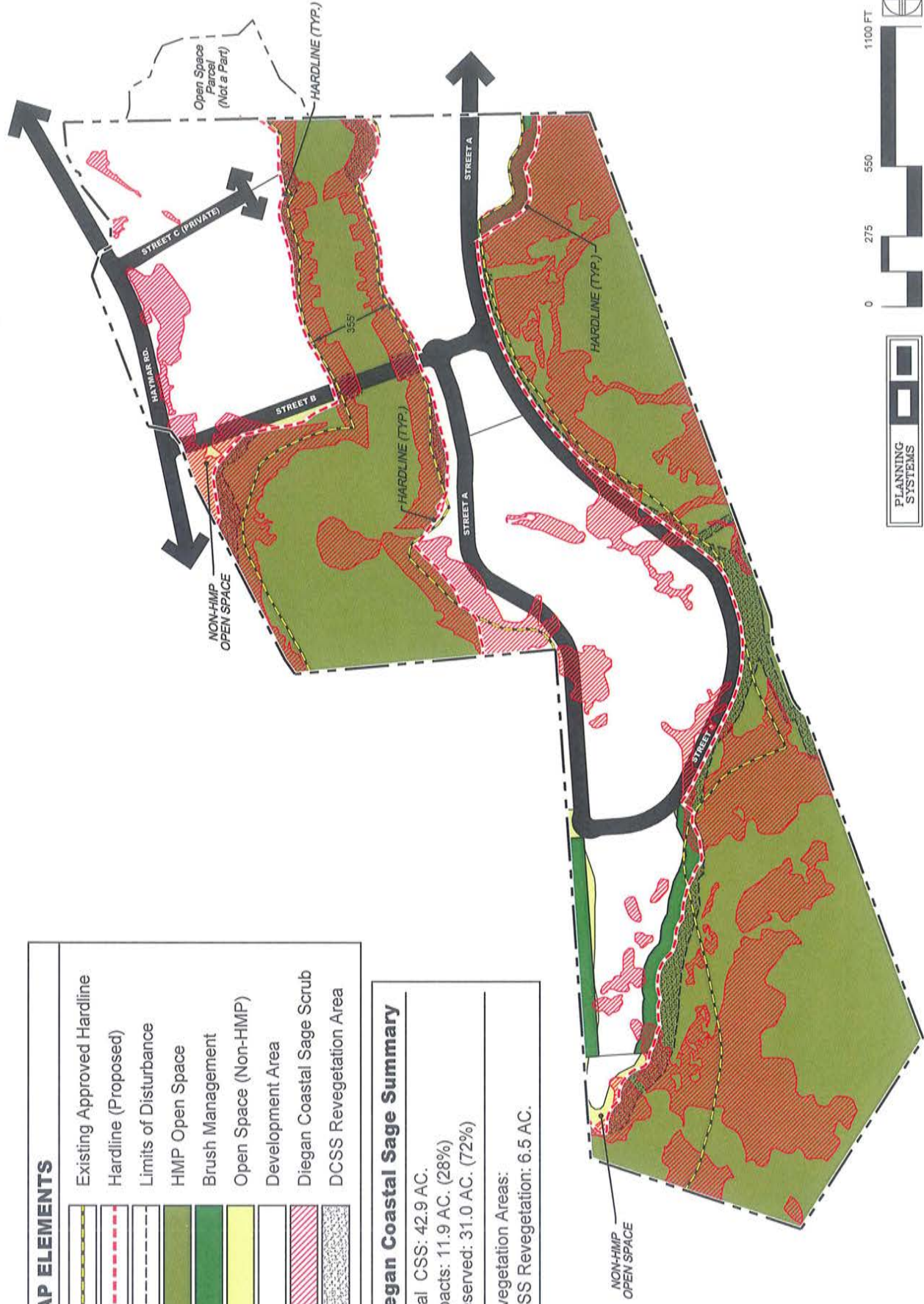
The Master Plan preserves approximately 87.9 acres (56%) of the property in open space. This includes areas of important environmental resources including the Buena Vista Creek and buffers, large tracts of riparian and wetland conservation areas, culturally valuable plots, hillsides, and revegetated manufactured slopes adjacent to open spaces. In accordance with the standards for the project site contained in the adopted HMP, the Master Plan permanently preserves and protects virtually all of the on-site sensitive habitats and has conserved these areas through adoption of a hardline limit to development. Some perimeter areas of the residential neighborhoods are protected by naturalized fire suppression zones, which are not considered part of the HMP hardline, but are nevertheless considered open space in this Master Plan.

The preserve configuration proposed in this Master Plan is more cohesive, is made up of large tracts of open space land, is less fragmented, and as a result of these factors, contributes to a superior preserve design for the site and the region. See *Figure 11; Hardline Map*. This Hardline Open Space area is over 6 acres larger in area than the present approved HMP Hardline which was approved as a result of the mining Reclamation Plan approval documents.

MAP ELEMENTS	
	Existing Approved Hardline
	Hardline (Proposed)
	Limits of Disturbance
	HMP Open Space
	Brush Management
	Open Space (Non-HMP)
	Development Area
	Diegan Coastal Sage Scrub
	DCSS Revegetation Area

Diegan Coastal Sage Summary

Total CSS: 42.9 AC.
Impacts: 11.9 AC. (28%)
Preserved: 31.0 AC. (72%)
Revegetation Areas:
DCSS Revegetation: 6.5 AC.



Quarry Creek

Master Plan

PROPOSED HMP HARDLINE MAP

FIGURE 11

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2.5.2 Public Use Areas

Property devoted to public uses is proposed over approximately 8.2 acres (5% of the project area). A program of pedestrian trail and bicycle facilities proposed for the project will provide pleasant and convenient access between the various portions of the community and the adjacent shopping center. Paseos in each residential neighborhood will promote pedestrian trail access from the neighborhoods to the trails, and through the public use areas and the open spaces meandering through the property. Three separate Public Use Areas combine to provide the necessary Community Facility acreage, which will accommodate Quarry Creek community-oriented services and uses. These Community Facility Public Uses include a daycare site, a Park & Ride site, a Public Trailhead and activity site, and acreage for other community uses. Development of a community facility public trailhead on the western end of the project will encourage outdoor education and recreation on-site. This public trailhead will provide for access to a future trail system on the adjacent Buena Vista Ecological Reserve property to the west, and a pedestrian and bicycle linkage ultimately to El Camino Real. A number of additional trailheads and viewing areas will allow for public access and observation of open spaces. A commuter Park & Ride lot is proposed adjacent to the Highway 78 access to encourage carpooling.

2.5.3 Residential

Approximately 48.9 acres (31% of the Master Plan area) is designated for residential uses. The residential uses will be clustered in the portions of the property that are not subject to biological or slope constraints. By providing relatively dense, clustered residential neighborhoods in an environment that is proximate to shopping and other services, it will allow residents to meet many of their daily needs within or adjacent to the project. Thus, many impacts associated with traditional development patterns such as traffic congestion, air pollution, loss of open space, and increased costs for public services and infrastructure can be reduced.

The 156-acre Quarry Creek project will cluster a maximum of 656 dwelling units within five residential neighborhoods. It is currently anticipated that all of the neighborhoods except R-1 will be developed as market-rate attached or detached condominium-type or apartment development. The affordable units will be accommodated in the R-1 high density neighborhood. Table D, *Land Use Summary Table* demonstrates the overall land uses, respective acreages and dwelling unit counts. These land uses are broken-down into planning areas, which are discussed in detail in Chapter 3.

The Quarry Creek development will provide both a minimum of 506 units of high and medium-high density [which qualify per State RHNA guidelines to be affordable by definition] affordable housing. Some of these units will also be income-restricted. The exact number and specifics of the income-restricted units will be articulated in accordance with an Affordable Housing Agreement to be entered into by the City and the developer prior to approval of the first final subdivision map on the property.

2.5.4 Land Use Summary Table

Standard Development Program. The Quarry Creek Master Plan Land Use Summary Table provides a general tabulation of the land uses, acreages and development intensity for the project. The project has been planned to include a mix of development and project features that will help to achieve the broad goal of sustainable development. It invokes a clustered urban atmosphere by providing high and medium-high density urban housing interspersed with public use areas and open spaces, all interconnected with local transportation alternatives, runoff management, and efficient energy use. In order to facilitate planning of each planning area, graphic depictions are included in Chapter 4 of this Master Plan to demonstrate the general parameters of future development within these planning areas.

Table H: Land Use Summary Table

Land Use	Planning Areas	Master Plan Use	Gross Acreage	Net Acreage	Dwelling Units this Master Plan
RESIDENTIAL					
RH Residential High (15-23 ¹ du/ac)	R-1 R-2	Apartments or Condos	18.2	15.5	331 ²
RMH Residential Medium-High (8-15 du/ac)	R-3 R-4 R-5	Condos	30.7	26.1	325 ³
RESIDENTIAL SUBTOTAL:			48.9	41.6	656
PUBLIC USE					
Park & Ride	P-1	Parking Lot	0.9		N/A
Community Facility Site	P-2	Community uses	2.1		N/A
Community Recreation Area	P-3	Active Recreation	1.3		N/A
Public Trails, Overlooks, Basins	P-4 P-5	Public Trails and related	3.9		N/A
PUBLIC USE SUBTOTAL			7.7		
OPEN SPACE					
OS Open Space	OS-1 OS-2 OS-3 OS-4	Open Spaces	87.9		N/A
OPEN SPACE SUBTOTAL			87.9		
Roads	N/A	Roads	11.0		
TOTAL			156.0		656

1. May exceed 23 du/ac with density modification per CMC Chap. 21.53.120.

2. 306 du minimum at 20 du/ac density required.

3. 200 minimum at 12 du/ac density required.

Thus, as can be seen in Table H, this Master Plan accommodates 331 high density dwelling units in total aggregate of Planning Areas R-1 and R-2. This is consistent with the Housing Element requirement that this area of Quarry Creek is required to accommodate at least 306 units at a minimum 20.0 du/ac density. Further, in excess of 200 RMH units at a minimum 12 du/ac density shall be provided in Planning Areas R-3, R-4 and R-5, and this plan complies with this requirement.

Additionally, in an effort to achieve increased density/affordability, Planning Area R-3 may be developed at a density above the RMH land use range, within the lower level densities of the RH range. This is subject to the provision that the overall project not exceed 656 total units.

Also, notwithstanding that internal portions of Planning Area R-4 may have individual sections that calculate over or under 12 du/ac, the overall net density of development within Planning Area R-4 shall be constructed at a minimum density of 12 du/ac.

The number of units in the column labeled "Dwelling Units this Master Plan" can be exceeded only through City approval of a transfer of units from the EDUB. If the number of units proposed exceeds the maximum density allowed in the applicable General Plan Land Use range, it may only be allowed through approval of a density modification per CMC Chapter 21.53.120.

2.5.5 Circulation

The Quarry Creek Master Plan provides a series of two generalized loop systems for vehicular access to the entirety of the developable area of the property. The main entry to the site is from Marron Road, at its present stub at the west end of the existing Quarry Creek Shopping Center mall. At this point, Marron Road will be extended as a controlled collector street (and referred to as Street 'A') to loop westerly and return to a north-south local collector street (Street 'B'), which will cross Buena Vista Creek via a bridge structure, to arrive at a "T" intersection with Haymar Drive, which completes an off-site easterly loop back to College Boulevard.

This Street 'A' loop extends westerly to access the residential, public use and open spaces in the panhandle portion of the site. This loop will be constructed to local street design standards. These streets are designed with parkways and bike lanes, and to minimum drive widths to calm traffic and to reduce the amount of paved surface within the project. The exact alignments of the roadways and drives with the Quarry Creek site will be determined through the entitlement process.

Traffic calming measures have been incorporated into the project design as an important part of the provision of "Complete Streets", or livability of the proposed community. These measures contribute to allowing the roadway to operate with all users in mind, including motorists, bicyclists, public transportation vehicles and pedestrians. The traffic calming measures, which are intended to slow traffic, discourage cut-thru trips and provide for a safer pedestrian and bicycle oriented community, include the provision of entry medians, roundabouts/traffic circles, well-identified mid-block pedestrian crossings and roadway neckdowns. Access to the individual residential neighborhoods is provided by local streets constructed in accordance with the City's Livable Streets Policy.

Bike lanes will be included on all public streets within the project. Bicycle racks or storage may be located in the Community Facility sites of PA P-1 Park & Ride lot and the PA P-5 Public Trailhead. Five foot wide sidewalks and/or decomposed granite trails (typically separated from the street by a tree-lined parkway) will be provided on the outside edge of the ROW on all public streets.

Transportation alternatives will be available to those living and visiting Quarry Creek. The project contains easy and convenient connection to the regional bus system and the PA P-1 Hwy. 78 Park & Ride lot. The Park & Ride lot will be primarily used by freeway carpoolers. Consistent with Smart Growth policies, the NCTD bus route will provide service to the project and the bus stop on Haymar Drive within the project will feature street furniture, including benches, shelters and transit information. The urban densities of Quarry Creek are within a ten-minute walk via pedestrian trails to the adjacent Quarry Creek Shopping Center.

3 PLAN DESCRIPTION

The Quarry Creek Master Land Use Plan is designed to provide a land use distribution that reflects an appropriate balance of open space, residential and public use land uses through development of a sustainable community with both urban uses and environmental conservation. This plan is intended to be protective of the important natural and cultural resources of the property while also providing a modern, sustainable urban development, in place of a highly-disturbed quarry site.

3.1 Master Land Use Plan

The Master Land Use Plan for the Quarry Creek project is shown on *Figure 12, Master Land Use Plan*. This Plan demonstrates the general location, alignments and relationships between the buildout uses on the property. The location of land uses, streets, utilities and other related improvements shown in this Master Plan should be considered conceptual and approximate. The precise locations ultimately approved in the discretionary application for each planning area shall be consistent with the generalized locations shown on the exhibits in this Master Plan.

3.1.1 Intensity of Development

The maximum intensity of development allowed in the Quarry Creek project is limited to 656 dwelling units, and five Public Use Areas (of which three of the five constitute Community Facility Sites). Open Spaces shall be conserved in their natural state through implementation of a conservation easement or equivalent, and perpetual funding source to ensure long term maintenance, in accordance with the requirements of the Carlsbad HMP.

3.1.2 Allowed Land Uses

Table I provides acreage and dwelling unit count totals for the land uses in the Master Land Use Plan. Some flexibility will be allowed in the selection of the land use/product types and intensities that may occur within each planning area. Thus, these acreages and unit counts are to be considered approximate. However, in no case will the net densities; (a) be outside of the density range indicated in Column F, (b) exceed the maximum number of residential dwelling units indicated in Column G, or (c) in RH and RMH land use planning areas be below the Regional Housing Needs assessment minimum density and unit counts needed to achieve the goals of the Housing Element except in instances where a formal *Transfer of Dwelling Units* within the Master Plan is approved by the City of Carlsbad pursuant to

Section V(2) of this Master Plan. In no case will the intensity of development for the project exceed 656 residential units. Also, in all cases, the Growth Control Point shall be achieved and no planning area density shall exceed the upper range of the General Plan land use designation.

Table I: Master Land Use Plan Table – Standard Development Program

(A) Planning Area	(B) Land Use	(C) Proposed Underlying Zoning	(D) Gross Acres	(E) Net Acres	(F) Allowed Density Range	(G) Dwelling Units per MP
R-1	High Density Residential	RD-M	7.1	6.0	20-23	129
R-2	High Density Residential	RD-M	11.1	9.4	20-23	202
R-3	Medium-High Density Residential	RD-M	6.7	5.7	12-15	81
R-4	Medium-High Density Residential	RD-M	18.4	15.6	12-15	188
R-5	Medium-High Density Residential	RD-M	5.6	4.8	8-15	56
RESIDENTIAL TOTAL			48.9	41.6		656
P-1	Park & Ride (Community Facility)	OS	0.9	0.9		
P-2	Community Facility Site	OS	2.1	1.2		
P-3	Community Recreation Area	OS	1.3	1.1		
P-4	Trail Stop/View Area	OS	3.3	3.3		
P-5	Public Trailhead (Community Facility)	OS	0.6	0.6		
PUBLIC USE TOTAL			8.2	7.1		
OS-1	Southerly OS Corridor Preserve	OS	57.9	N/A		
OS-2	Wetland Preserve	OS	20.1	N/A		
OS-3	Buena Vista Creek and Buffer	OS	8.4	N/A		
OS-4	Panhandle North Brush Management	OS	1.5	N/A		
OPEN SPACE TOTAL			87.9	N/A		
	Public Roads		11.0	11.0		
MAJOR ROADS TOTAL			11.0	11.0		
GRAND TOTAL			156.0	61.7		656

STATISTICAL SUMMARY

PA	LAND USE	GENERAL PLAN LAND USE	GENERAL PLAN DENSITY RANGE	GROSS ACRES	NET ACRES	DENSITY	MAX. UNITS
RESIDENTIAL							
R-1	Apartments *	(RH) High Density	15-23 du/ac	7.1	6.0	21.4	129
R-2	Planned Development	(RH) High Density	15-23 du/ac	11.1	9.4	21.4	202
R-3	Planned Development	(RMH) Medium-High Density	(8-15 du/ac)	6.7	5.7	14.2	81
R-4	Planned Development	(RMH) Medium-High Density	(8-15 du/ac)	18.4	15.6	12.0	188
R-5	Planned Development	(RMH) Medium-High Density	(8-15 du/ac)	5.6	4.8	11.8	56
RESIDENTIAL SUB-TOTALS				48.9	41.6	--	656
PUBLIC USE							
P-1	Community Facilities	(CF) Community Facility	--	0.9	0.9	--	--
P-2	Community Facility Site	(CF) Community Facility	--	2.1	1.2	--	--
P-3	Community Recreation Area	(OS) Open Space	--	1.3	1.1	--	--
P-4	Trail, View Area, Water Quality Basin	(OS) Open Space	--	3.3	3.3	--	--
P-5	Community Facilities	(CF) Community Facility	--	0.6	0.6	--	--
PUBLIC USE SUB-TOTALS				8.2	7.1	--	--
OPEN SPACE							
OS-1	Southerly Open Space Corridor Preserve	(OS) Open Space	--	57.9	--	--	--
OS-2	Wetland Preserve	(OS) Open Space	--	20.1	--	--	--
OS-3	Buena Vista Creek and Buffer	(OS) Open Space	--	8.4	--	--	--
OS-4	R-5 Northern Brush Management Zone	(OS) Open Space	--	1.5	--	--	--
OPEN SPACE SUB-TOTALS				87.9	--	--	--
Public Roads				--	--	--	--
PROJECT TOTALS				156.0	59.7	--	656

* Includes affordable and potential market rate units.

- Limits of Hardline Map Boundary
- Brush Management per HMP Hardline Map

NOTE: Units can be transferred subject to total project unit maximum.



FIGURE 12

As indicated in Table I, upon buildout of the Quarry Creek Master Plan the project will provide a maximum of 656 dwelling units, including the required number of affordable units pursuant to the City of Carlsbad Inclusionary Housing requirements. It is important to note that the total number of required affordable units within the master plan may increase or decrease somewhat depending upon the total final number of approved dwelling units, pursuant to an affordable housing agreement executed prior to approval of the first final map on the project.

The nonresidential component of the Master Plan includes five Public Use Areas including a Community Facility site, a Public Trailhead Community Facility, a Park & Ride lot, trail stops, view overlooks and a Community Recreation area. These Public Use areas total 8.2 acres in area (including 2.7 net acres of Community Facilities). The balance of the property will accommodate public streets (11.0 acres) and open spaces (87.9 acres).

The land use categories break down as follows:

Table J: Proposed Land Use Breakdown

Land Use	Acreage	Percent
Residential	48.9	31%
Public Use	8.2	6%
Open Space	87.9	56%
Public Roads	11.0	7%
TOTAL	156.0	100%

3.1.3 Community Sustainability

Through the provision of high density and medium-high density residential products in the Quarry Creek community, the community will make efficient use of land resources and will be served by logical and proximate connections to existing public infrastructure. Residential development will be of a variety of higher-density product types that will appeal to a wide cross section of home buyers. Such a diverse mix of housing options will enhance the opportunity to conserve energy and thus develop a community which is relatively sustainable.

The Quarry Creek Master Plan is intended to be a community which is sustainable, in that design and materials will be encouraged which minimize waste, reduce consumption, and maximize the preservation of open space. A number of specific, practical measures will be included and/or encouraged in the design and construction materials of the community which will increase sustainability. The careful selection amid design of appliances, building systems and architectural and site design features will all help to reduce the energy demands of the Quarry Creek development. The use of recycled-content, salvaged, refurbished, reusable, durable and rapidly-renewable materials will be encouraged for building and landscape construction. An overall recycling waste program will be developed for the Quarry Creek community in accordance with City guidelines, and an additional educational program will be instituted to promote the benefits of recycling and re-usable energy within the Quarry Creek. The careful selection and design of appliances, building systems and architectural and site design features will all help to reduce the energy demands of the Quarry Creek development. Passive solar design, building insulation, photovoltaic panels at common-area facilities, energy efficient compact fluorescent fixtures, water conserving appliances, drought tolerant landscape plantings, and landscape waste composting are among the energy

conserving measures that will be encouraged and/or included in the Quarry Creek community. These energy efficient programs are discussed in greater detail in Chapter 6 of this Master Plan.

3.2 Detailed Description of Proposed Land Uses

A description of the land uses proposed for the Quarry Creek property are provided for each of the three land use categories in this section; residential, public use and open space.

3.2.1 Residential

As a result of the necessity of higher density housing requiring larger pads for development, residential areas are generally clustered in the flatter, more highly-disturbed, or less environmentally sensitive portions of the Quarry Creek property. The residential areas are shown on *Figure 13; Residential Land Uses*. All residential development within the Master Plan shall be consistent with the policies and programs of the City of Carlsbad General Plan, including the Housing Element, and shall be consistent with any applicable sections of Title 21 of the Carlsbad Municipal Code, except as such requirements are specifically revised by this Master Plan.

3.2.1.1 Multifamily Housing

- (1) Multifamily housing, in the form of attached products including but not limited to high density apartments, condominiums, townhomes, and stacked flats are proposed for Planning Areas R-1 and R-2.
- (2) Condominiums (attached or detached), townhomes, apartments, stacked flats and courtyard (detached) residential homes are allowed within Planning Areas R-3, R-4, and R-5.
- (3) Accessory uses as allowed per the Zoning Ordinance are allowed per the applicable zones identified in this Chapter, within these multifamily residential planning areas.

3.2.1.2 Affordable Housing

- (1) General Requirements. The provision of “Inclusionary” or “affordable” housing in all new developments is required by the Housing Element of the City’s General Plan. The requirements applicable to locating and constructing these housing units are stipulated in the Inclusionary Housing Ordinance, City Municipal Code Chapter 21.85. Sub-section 21.85.050 indicates in part, that “the required number of lower-income Inclusionary units shall be fifteen (15%) percent of the total qualified residential units, approved by the final decision making authority.” “Lower-income” households are defined by sub-section 21.85.020 as, “...households...whose gross income does not exceed eighty (80%) percent of the median income for San Diego County as determined annually by the U.S. Department of Housing and Urban Development.”

LEGEND

- QUARRY CREEK PROPERTY BOUNDARY LINE
- (RMH) MEDIUM-HIGH DENSITY (8-15 DU/AC)
- (RH) HIGH-DENSITY (15-23 DU/AC)
- BRUSH MANAGEMENT

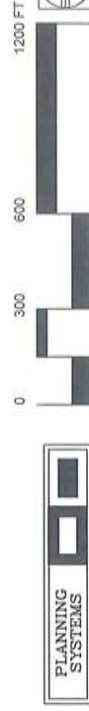
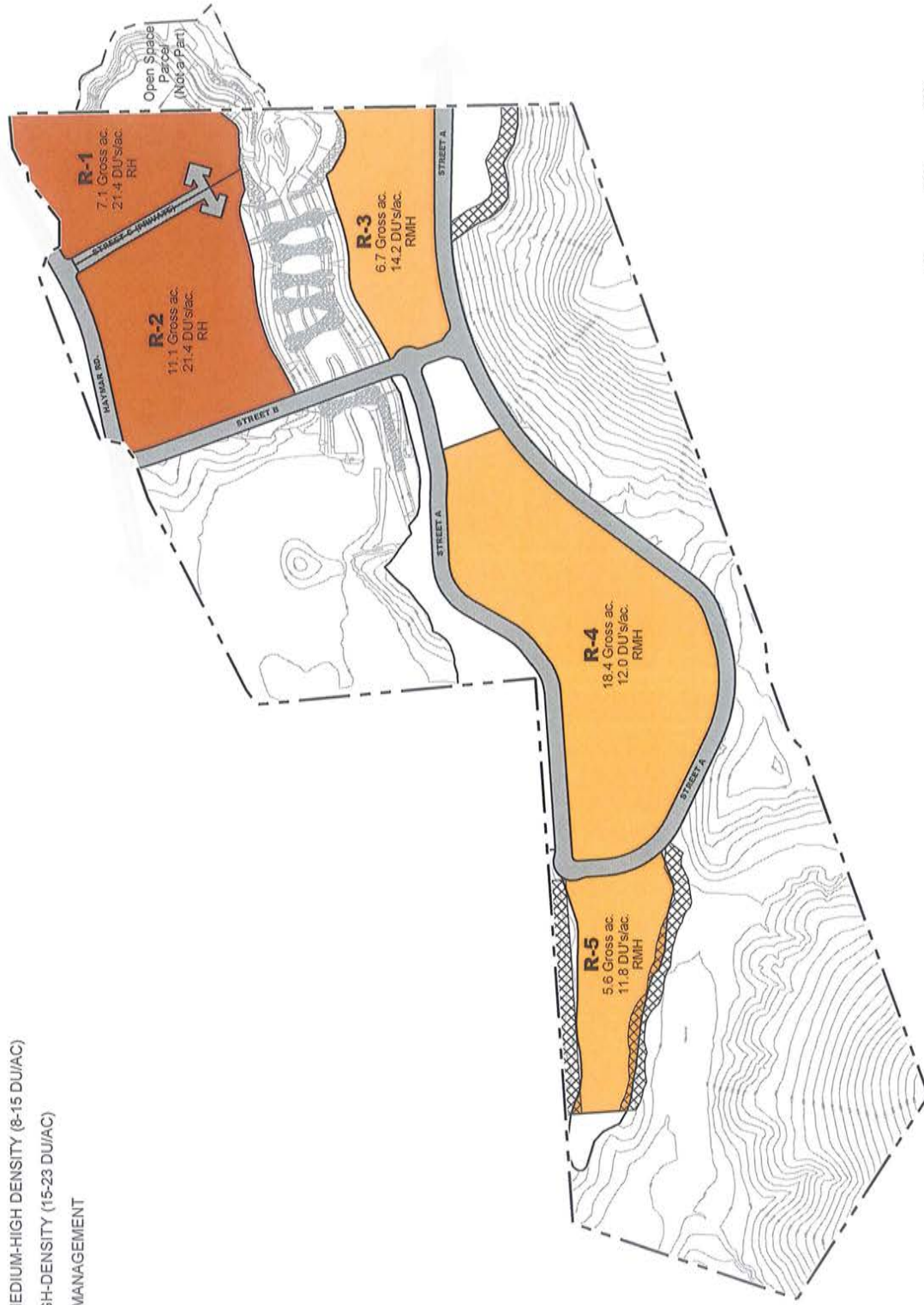


FIGURE 13

Quarry Creek

Master Plan

As proposed, the Quarry Creek Master Plan is obligated to provide a maximum of 98 dwelling units which are price-restricted as affordable to lower-income households. This figure is based on the total number of for sale units expected to be constructed for the remaining planning areas within the project, as shown on Table K, *Lower-Income Affordable Housing Requirements*. This obligation shall be adjusted in proportion to the total number of approved and constructed qualified dwelling units within each planning area. The actual number of required lower-income units will be based on the number and affordability rate indicated in an Affordable Housing Agreement between the developer and the City. This Affordable Housing Agreement shall be executed by the parties prior to approval of the first final subdivision map on the project.

Table K: Lower-Income Affordable Housing Requirements

<i>Maximum Total Units</i>	<i>Basis of Calculation of Inclusionary Housing Requirement</i>	<i>Affordable Requirement</i>
656 units	Based on the number of for sale units expected to be constructed on the remaining planning areas	98 units

(2) Affordable Housing Agreement / Site Development Plan. No building permit shall be issued for any affordable housing project unless an Affordable Housing Agreement and Site Development Plan have been approved for the project. Site Development Plans shall be processed as required by Chapter 21.53.120 of the City Municipal Code. The Site Development Plan and Affordable Housing Agreement shall be approved by the City prior to the approval of the first individual final map, as required by Section 21.85.140. The Affordable Housing Agreement shall be recorded and the applicable terms and conditions shall be filed and recorded as a deed restriction on the individual lots or units of a property which are designated as the location for affordable housing units.

The affordable housing development shall provide a mix of unit sizes and configurations (by number of bedrooms) as required by the Affordable Housing Agreement. The units may be apartments or condominiums. The affordable housing obligation may be met by the provision of senior-housing as allowed by the Affordable Housing Agreement.

The design of the affordable housing units shall be reasonably consistent with the design of the total project in terms of physical appearance, materials, and finished quality, as required by Section 21.85.040 of the Municipal Code and the provisions of the Affordable Housing Agreement. Reductions in development standards may be accommodated consistent with the limits set forth in Section 21.85.

The Affordable Housing Agreement shall take precedence if the requirements of the Quarry Creek Master Plan are determined to be contrary to any affordable housing requirements of the Affordable Housing Agreement.

(3) Location of Affordable Housing Development. The inclusionary housing obligation of the Quarry Creek Master Plan will be accommodated with the construction of affordable-rate housing units within Planning Area R-1 or within

another residential planning area(s) approved by the City. The actual number of affordable units will be based upon the number of qualifying approved and constructed units within the Master Plan. Units in Planning Area R-1 could be constructed as rental or for-sale residential products.

(4) Timing of Affordable/Inclusionary Units. The timing of the construction of the required affordable units shall be in accordance of the provisions of the Affordable Housing Agreement which will be entered into between the City and the property owners.

3.2.2 Public Use Areas

Approximately 6% (8.2 acres) of the Quarry Creek property will be devoted to public uses. Public Use Areas will involve a Community Facilities Site, an active recreation area, a Park & Ride lot, a public trail head, nature trails and similar uses, three of which (PA P-1, P-2 and P-5) will qualify as Community Facilities uses. The Public Use areas will function as the community gathering and recreation facilities for the project. Public Use Areas and public roadways are shown on *Figure 14: Public Use Areas*. Access to these areas will be provided through the trail system inter-linking the residential areas with the Public Use Areas.

Community Facilities requirements for the Quarry Creek Master Plan are based on Section 21.25.070 of the CMC which specifies that the number of acres of Community Facilities required by master plan developments is calculated as 2.0 acres, plus 1% of the unconstrained acreage of the site. The Constraints Analysis of the property based on the existing updated biological report and Reclamation hardline concludes that there are 67.8 acres of unconstrained area on the property. Therefore, the requirement for Community Facilities for the Quarry Creek plan would be 1% of 67.8 acres (0.67 acres) + 2.0 acres = 2.7 acres of Community Facilities acreage required.

The three Community Facility Public Use Areas (PA P-1, P-2 and P-5) total 3.6 gross acres (2.7 net acres). Thus, the net acreage designated for Community Facility use is in compliance with the requirement of CMC 21.25.070.

Further, although it is located off-site, and does thus not contribute to the community facilities requirement of the Quarry Creek project, the project will construct a trailhead and parking area approximately 4,000 feet westerly of the site which will accommodate access to the BVCER and Quarry Creek from the west.

A well-designed directional signage system will be implemented for the entire project site. Directional and information signage at trail segments will alert users of the difficulty rating of trail segments. Educational signage providing information on the cultural heritage of the site will be provided along the appropriate trail segments. Other trail-related features are encouraged to provide directional information for people with vision impairments.

LEGEND

- QUARRY CREEK PROPERTY BOUNDARY LINE
- PUBLIC USE AREAS
- BRUSH MANAGEMENT

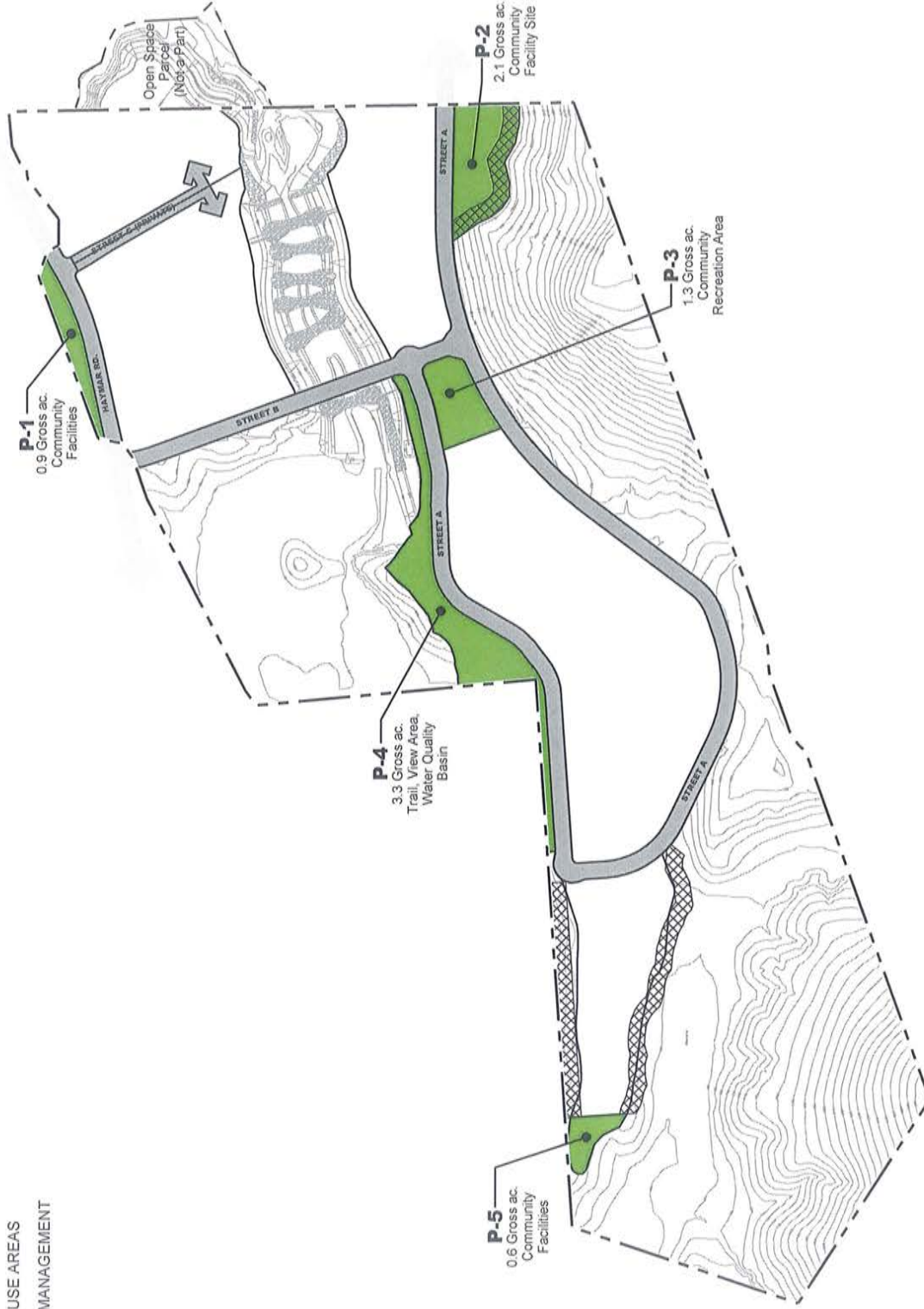


FIGURE 14

Quarry Creek

Master Plan

PUBLIC USE AREAS

LEGEND

 QUARRY CREEK PROPERTY BOUNDARY LINE

 OPEN SPACE AREAS


 BRUSH MANAGEMENT



FIGURE 15

Quarry Creek

OPEN SPACE PLAN

Master Plan

PAGE III-10

3.2.3 Open Space Plan

Approximately 87.9 acres or 56% of the total Master Plan consists of open space areas. The open space provided by the Quarry Creek Master Plan is consistent with applicable city ordinances, standards and policies, and complies with Federal and State habitat preserve policies.

The planning areas identified as open spaces are currently owned by the property owner. These natural and re-vegetated open spaces will be the subject of an open space conservation easement, to be recorded in conjunction with the final maps for the affected areas. The subject open spaces shall ultimately be transferred via fee title or easement to a professional environmental management entity for permanent management as is required pursuant to an approved open space hardline agreement with the USFWS and the City of Carlsbad. A perpetual funding source will be put in place to ensure long term maintenance of the conserved open spaces.

All open space shall be provided consistent with the City's General Plan, Open Space and Conservation Resource Management Plan, Growth Management Plan and adopted Habitat Management Plan and the open space areas shown within the Master Plan Land Use Plan. The open spaces are depicted on *Figure 15; Open Space Plan*.

In accordance with the requirements of Chap. 21.38.060(1)(c), at least 15% of the master plan area is allocated to open spaces or public uses, which can be addressed by any of four allowed categories. These categories are; Open Space for the Preservation of Natural Resources; Open Space for Outdoor Recreation; Open Space for Public Health and Safety; and Open Space for the Managed Production of Resources. *The proposed project accommodates approximately 56% open space acreage.*

(a) Open Space for the Preservation of Natural Resources. The Quarry Creek Master Plan design is strongly driven by the City's adopted Habitat Management Plan (HMP), which identifies the site as an important component of the city's overall open space preserve system.

The City of Carlsbad is a participant in regional resource conservation planning efforts being undertaken in northern San Diego County pursuant to the California Natural Community Conservation Planning (NCCP) Act of 1991 and the California and Federal Endangered Species Acts (CESA and ESA, respectively). This sub-regional plan is identified as the Multiple Habitat Conservation Plan (MHCP). Under the umbrella-planning framework of the MHCP, the City of Carlsbad has adopted a Carlsbad Sub-area Plan (HMP) that addresses land conservation issues.

The project is designed to avoid areas that are considered environmentally sensitive. The plan conserves approximately 87.9 acres of open space on-site, including more than 85% of the existing Coastal sage scrub habitat community, and more than 95% of wetland habitat, and conforming to a permanent HMP Hardline Map in accordance with City of Carlsbad and U.S. Fish and Wildlife Agency requirements. This hardline is shown on *Figure 11; Hardline Map*. The approved HMP Hardline Map permanently preserves a significant part of Core #2 as identified in the approved Carlsbad HMP.

(b) Open Space for Outdoor Recreation. The Quarry Creek Master Plan provides for approximately 8.2 acres of outdoor recreational and Community Facility areas (public use areas). These areas consist mostly of a Community Facilities site, public outdoor trails, viewing areas, and a Nature/Education Center. Also, as required by the Planned Development Ordinance, Chapter 21.45 of the Carlsbad Municipal Code, active and passive recreational opportunities are required in the form of pocket parks and/or common recreation areas located in the residential planning areas. The exact size and location of all of the required recreation areas shall be sized accordingly to meet the planning area's recreational requirement as determined at the time of tentative map or development plan approval for each Planning Area. Planning Area P-3 is proposed to provide a large, central recreation area which will accommodate up to 75% of the recreation requirement of PA R-3, R-4 and R-5. Common recreation facilities for PA R-1 and R-2 will be provided concurrently with site plans for these planning areas.

In addition, a trail system consisting of both paved circulation element trails and unpaved recreation element trails winds through the project, linking open space, residential and public use planning areas. Where feasible, pedestrian and bike trails also will be provided along internal roadways adjacent to the project's open space areas. The trail and sidewalk system provides access through the open space connecting to the adjacent shopping center and other land uses in the area. The trail system is designed to limit access to the wildlife corridors and El Salto Falls, while permitting future connections with adjacent off-site unpaved recreational trails, as well as public trails and sidewalks, in accordance with the Citywide Trails Program. Access for tribal use to El Salto Falls will be provided, however it will be limited to the degree that is desired by the Native Americans. The uses in this area will be limited by those allowed per the conservation easement which will be recorded over the conserved properties.

(c) Open Space for the Managed Production of Resources. The Quarry Creek property has historically undergone significant large mining operations. This operation has been completed and will no longer be in effect. No specific managed production of resources operation will be provided in the Quarry Creek community.

(d) Open Space for Public Health and Safety. In order to protect downstream habitats and drainage basins, portions of the project site are being developed as water quality basins. A portion of a number of the planning areas will be constructed with hydromodification and water quality facilities, which are provided to retain and treat potential contaminants in storm water run-off before reaching natural resources downstream from the project site. The final design of basins located on the residential planning area sites will be determined at the time of site plan review for those residential projects.

Native vegetation shall be preserved and, where necessary, enhanced on major project slopes. Where required by the City Fire Marshal, a fire protection plan shall be implemented. Irrigation systems placed in the major project slopes shall comply with the requirements of the City of Carlsbad Landscape Guideline Manual except as may be modified in this Master Plan.

3.2.4 Water Quality Facilities

All runoff from developed planning areas will be treated prior to draining downstream into the Buena Vista Creek. The Quarry Creek project will include innovative approaches to water quality management that incorporate a number of the design principles of sustainable development. The project will incorporate [among other controls] site design best management practices (BMPs), including hydromodification basins in appropriate locations which will protect downstream properties in compliance with the City of Carlsbad Standard Urban Stormwater Management Plan (SUSMP) program, the City's Municipal Permit and the State's General Construction Permit. These facilities are intended to provide locations for water quality treatment elements to treat the water with biological or other filters in accordance with best management practices for storm water in order to minimize potential contaminants in storm water run-off before reaching natural resources downstream from the project site.

3.2.5 Roadways

The Quarry Creek Master Plan will require the construction of approximately 11.0 acres of roadways to provide access to the residential neighborhoods and public use areas within the community. The roads and intersections are designed as complete streets, providing facilities for pedestrians, bicyclists and vehicles. Traffic calming measures, including mid-block pedestrian crossings have been provided at key locations to create a safer pedestrian environment and more accessible community design. Bike lanes, sidewalks, decomposed granite (D.G.) trails and tree-lined parkways are provided on all public streets within the project.

3.2.6 Uses Not Required

Common RV Storage lot facilities, as defined in Chapter 21.45.060 (Table C), are not required in the Quarry Creek Master Plan. RV Storage Lots are determined to be a single, unsustainable use of land, not consistent with the goals of this Master Plan, and not consistent with the intent of clustering urban development within the buildable portions of the property. Further, parking lots for RV vehicles will exacerbate the “heat island effect” within the project, and serve to encourage the use of large, inefficient means of transportation.

4 INDIVIDUAL PLANNING AREA DEVELOPMENT REGULATIONS

Development of individual planning areas within the Quarry Creek Master Plan shall be subject to the specific development standards and design criteria articulated in this chapter of the Master Plan.

With regard to the planning of the planning areas in the vicinity of the El Salto Falls; as part of the City of Oceanside's approval of the Reclamation Plan, a management plan was developed to cover the portions of the site located within 200 feet of the El Salto Falls. The intent of this Falls Management Plan was to put in place provisions for the cleaning and securing of that area until a final development and management plan is put in place with the approval of a development plan for the Quarry Creek site. The current boundaries of this area cover portions of Planning Areas R-1, R-2, R-3 and also OS-3, the Buena Vista Creek Channel and buffer area. A portion of this area, directly adjacent to and including the El Salto Falls, and including the 100 foot biological buffer, is also covered by a conservation easement and will ultimately be managed by a conservation entity in accordance with the approved Quarry Creek Preserve Management plan.

A final development and management plan will be adopted prior to recordation of the first tentative map on the property, for those portions of the Falls Management Plan area which lie outside of the existing conservation easement. This plan will be developed in consultation with the Native Americans and will ensure that development within this area is sensitive to the cultural values and designation of the El Salto Falls. It is expected that this plan will address issues such as development design, access controls, interpretive and educational opportunities, and will detail the transition and relationship between the El Salto Falls and adjacent development on Planning Areas R1, R-2 and R-3.

4.1 Development Standards - Residential Planning Areas

The purpose of the development standards is to support the goals and objectives of the Quarry Creek Master Plan project by describing the design elements to be included within the project, including basic grading, architectural and landscape concepts, site design criteria, fencing, signage, and lighting concepts. Each of these elements will have an integral part in providing a sense of continuity throughout the Master Plan community. These elements establish the overall character of the community and are described in detail below.

Residential planning areas shall be developed in compliance with adopted City standards with the exception of those articulated in this Master Plan. In places where there is a conflict in standards, those of this Master Plan shall prevail. All residential planning areas in Quarry Creek shall be subject to Council Policy #66, as that policy is applicable to all development.

4.1.1 Planning Area R-1 - Multifamily - Site Zoning Regulations and Criteria **(See Fig. 16, Planning Area R-1)**

Description

Planning Area R-1 (approximately 7.1 gross acres/6.0 net acres) is allocated an assumed unit count of 129 multifamily attached homes, which could include either rental apartments or for-sale condominiums. The units in this Planning Area are intended to satisfy the Inclusionary (Affordable) Housing requirement for the Quarry Creek Master Plan. The Planning Area R-1 units will be constructed at an overall minimum of 20 du/ac. As a result of this density, all of the units within Planning Area R-1 shall qualify for State of California RHNA low-income affordable housing credit. Further, some number of these units shall be income-restricted in order to meet the City's Inclusionary Housing requirements (CMC Chapter 21.85). The exact number of Inclusionary Housing units shall be pursuant to the requirements of an Affordable Housing Agreement approved by the developer and the City prior to approval of the first final map for the Quarry Creek project.

It is anticipated that access to Planning Area R-1 will be provided via a private street extending southerly from Haymar Drive (driveway expected to be shared with Planning Area R-2). Two driveway points from this private street into PA R-1 will be provided, while an additional secondary access will be provided through Planning Area R-2, westward out to Street 'B'. These internal drive accesses, which will be shown on the development plans for the individual planning areas, shall also provide access to the off-site 4.0 acre Public Open Space Area which is located immediately east of Planning Area R-1 and is located within the city of Oceanside.

A common recreation area shall be provided within Planning Area R-1. The actual area and components of community recreation facilities required for Planning Area R-1 will be determined at the time of discretionary review and shall be based on the final number of residential units actually constructed within the Planning Area in accordance with the requirements of this Master Plan.

Implementation of Master Plan Vision and Goals

The purpose of this planning area is to allow for a high density multifamily neighborhood which creates a sense of place at affordable rental rates or sales price within the Quarry Creek Master Plan. Planning Area R-1 provides for multifamily homes which are connected to other portions of the Master Plan and surrounding area by automobile, pedestrian, bicycle trails and transit routes.

Planning Area R-1 is anticipated to be a high density project within Quarry Creek, which will contribute to the diversity of housing types available within the community. This planning area includes common recreation areas to serve as local gathering places for residents. It is within walking or bicycling distance to shopping and community recreation uses.

Planning Areas R-1 and R-2 may be developed as a single project and must total a minimum of 306 dwelling units with a corresponding net density of at least 20 du/ac. In the event that these two planning areas are developed as an overall single project, access drives, recreation areas and other common facilities may be combined, as part of the site plan approval by the City of Carlsbad.

Land Use Regulations

- General Plan Land Use Designation: RH (High Density, 15-23 du/ac)
- Dwelling Unit Allocation: Assumed per Master Plan - 129 units
- Density: Between 20 and 23 du/ac (Minimum density shall be no less than 20.0 du/ac)
- Underlying Zone Designation: RD-M (Residential Density – Multiple)

Product Type

- Multifamily rental or for-sale homes.

Required Development Permits

- Site Development Plan (if apartments proposed)
- Tentative Map and Planned Development Permit (if “for sale” units)

Development Standards

- Development in Planning Area R-1 shall comply with the zoning standards for the RD-M zone (CMC Chapter 21.24) and City Council Policy 66, except as modified by this Quarry Creek Master Plan.
- Apartment rental units are not subject to the Planned Development Ordinance.
- A minimum of 100 square feet of Community Recreation facilities per dwelling unit shall be provided on-site within this Planning Area if developed as rental apartments. A minimum of 150 square feet per dwelling unit of such facilities shall be provided if developed as for-sale condominiums.
- Planning Area R-1 Community recreational space shall be provided as both passive and active recreational facilities for a variety of age groups (a minimum of 75 percent of the required area shall be allocated for active facilities).
- Community recreational space shall be centrally located in relationship to the project units. Required community recreation areas shall not be located in any required front yards and may not include any streets, drive-aisles, driveways, parking areas, walkways, or storage areas.
- Development of Planning Area R-1 shall comply with the following standards:

Minimum Building Setbacks Public Streets*	<ul style="list-style-type: none"> • 10 feet • 20 feet for drive-facing garages (if provided) • Setbacks may be reduced for urban design purposes subject to a finding of consistency with the goals of this Master Plan.
Minimum Building Setbacks, Private streets, private drives or Motor Court*	<ul style="list-style-type: none"> • 5 feet • Setbacks may be reduced for urban design purposes subject to a finding of consistency with the goals of this Master Plan.
Minimum Building Separation	<ul style="list-style-type: none"> • Average 10 feet between buildings • The front faces of buildings shall be a minimum of 10 feet apart. • Entries, stairs, and balconies may encroach up to 6 feet within these setbacks, provided a minimum 10-foot separation between structures is maintained. Patios may encroach within these setbacks without restriction, provided a 10-foot separation between structures is maintained. • Minimum 30 feet between opposing garage doors.
Resident Parking	<ul style="list-style-type: none"> • One space per studio and one-bed room unit. • Two spaces per 2-bedroom and 3-bedroom units. <p>(Or as may be allowed pursuant to an Affordable Housing Agreement)</p>
Private Recreational Space	<p>Each unit shall include a patio or balcony, subject to the following minimum area requirements:</p> <ul style="list-style-type: none"> • Patio: 60 square feet (min. dimension of 6 feet) • Balcony: 60 square feet (min. dimension of 6 feet). <p>Balconies or patios shall not be required for units for which those balconies or patios cannot feasibly comply with noise requirements.</p>

* Measured from ROW line or curb if private street. Permitted intrusions into required setbacks are per Section 21.46.120 of the CMC.

PLANNING BUFFER:

A planning buffer shall be provided on the south side of Planning Area R-1 adjacent to Planning Area OS-3 beyond [uphill from] the biological buffer. This planning buffer shall maintain a minimum 50-foot width. Uses that are allowed within the planning buffer include; parkways of public or private streets, turn-arounds, parking lots, rear yards [no structures], landscaping for the ultimate adjacent development, underground utilities, recreational trails, public view areas and kiosks, passive recreational uses, maintenance accessways, fire management zones, hydromodification or water treatment zones and other natural-type features.

Building Height

- Maximum of three stories and 40 feet to the roof ridgeline with a minimum roof pitch of 3:12.

- Maximum of 35 feet for structures with a roof pitch less than 3:12.
- For two-story duplex dwellings with a minimum roof pitch of 3:12 the maximum height shall be 30 feet.
- For two-story duplex dwellings with a roof pitch less than 3:12 the maximum height shall be 24 feet.

Affordable Housing

Planning Area R-1 provides the affordable housing units required for Quarry Creek in accordance with the schedule established by an Affordable Housing Agreement recorded prior to the first final map for development within Quarry Creek.

Special Design Criteria

1. As a result of the fact that the subject site is located in an urban setting, adjacent to a transit bus line and shopping, a reduced parking requirement may be allowed for the PA R-1 affordable housing project if determined to be acceptable to the City, in accordance with the allowances of the Affordable Housing Agreement.
2. A noise analysis shall be conducted to determine whether noise levels from Hwy 78 will exceed adopted noise standard levels. If noise walls over 6 feet high are required, a combination of berm and maximum 6-foot high noise wall shall be used to mitigate noise impacts.
3. Bicycle storage lockers or racks shall be provided for a minimum of 25% of the units within the project.
4. Pedestrian connections shall be included to facilitate access to the Community Facility site, adjoining neighborhoods, trails, and, across the creek bridge, to the adjacent Quarry Creek Shopping Center.
5. Traffic calming elements shall be incorporated into the design of internal drives within this Planning Area as needed in order to reduce the speed of through traffic and enhance pedestrian safety.
6. This planning area is designated as a location for the provision of on-site affordable housing, which per the Housing Element and Carlsbad Municipal Code, may allow for modifications to the Carlsbad Zoning Ordinance, Planning Department Policies, and this Master Plan.
7. Pedestrian connections shall be included to facilitate access to bus stops and adjoining neighborhoods, including the Open Space parcel within the city of Oceanside.
8. A vehicular access drive to the adjacent Open Space parcel within the city of Oceanside shall be provided through Planning Area R-1 at the time that PA R-1 is developed.

9. Prior to development of any cultural or other open space facility on the adjacent Open Space Parcel within the city of Oceanside, a compatibility analysis shall be conducted by the City of Oceanside and any substantive design or performance measures necessary to achieve compatibility between that proposed use and the Planning Area R-1 housing development shall be incorporated into the adjacent Open Space use, to the satisfaction of the City of Carlsbad.
10. Lighting adjacent to Planning Area OS-3 shall be provided through the use of low-sodium lighting and shall be shielded away from the adjacent open spaces.
11. Passive landscape uses and utilities will be allowed within the upper elevation in the northeast corner of Planning Area 1,

R-1

MULTI-FAMILY RESIDENTIAL HIGH DENSITY (RH)

7.1 Gross Acres
6.0 Net Acres
21.4 DU/AC
129 DU's

LEGEND

- PUBLIC ROADS
- PRIVATE ROADS
- HMP HARDLINE
- COMMUNITY THEME WALL
- VIEW FENCE
- PEDESTRIAN TRAIL
- NEIGHBORHOOD IDENTIFICATION MONUMENT (OPTIONAL)
- PUBLIC USE AREA SIGN
- TRAILHEAD/TRAIL STOP
- ESTIMATED PLANNING AREA ACCESS POINTS*

* Exact number and locations of access points will be determined through site design process.



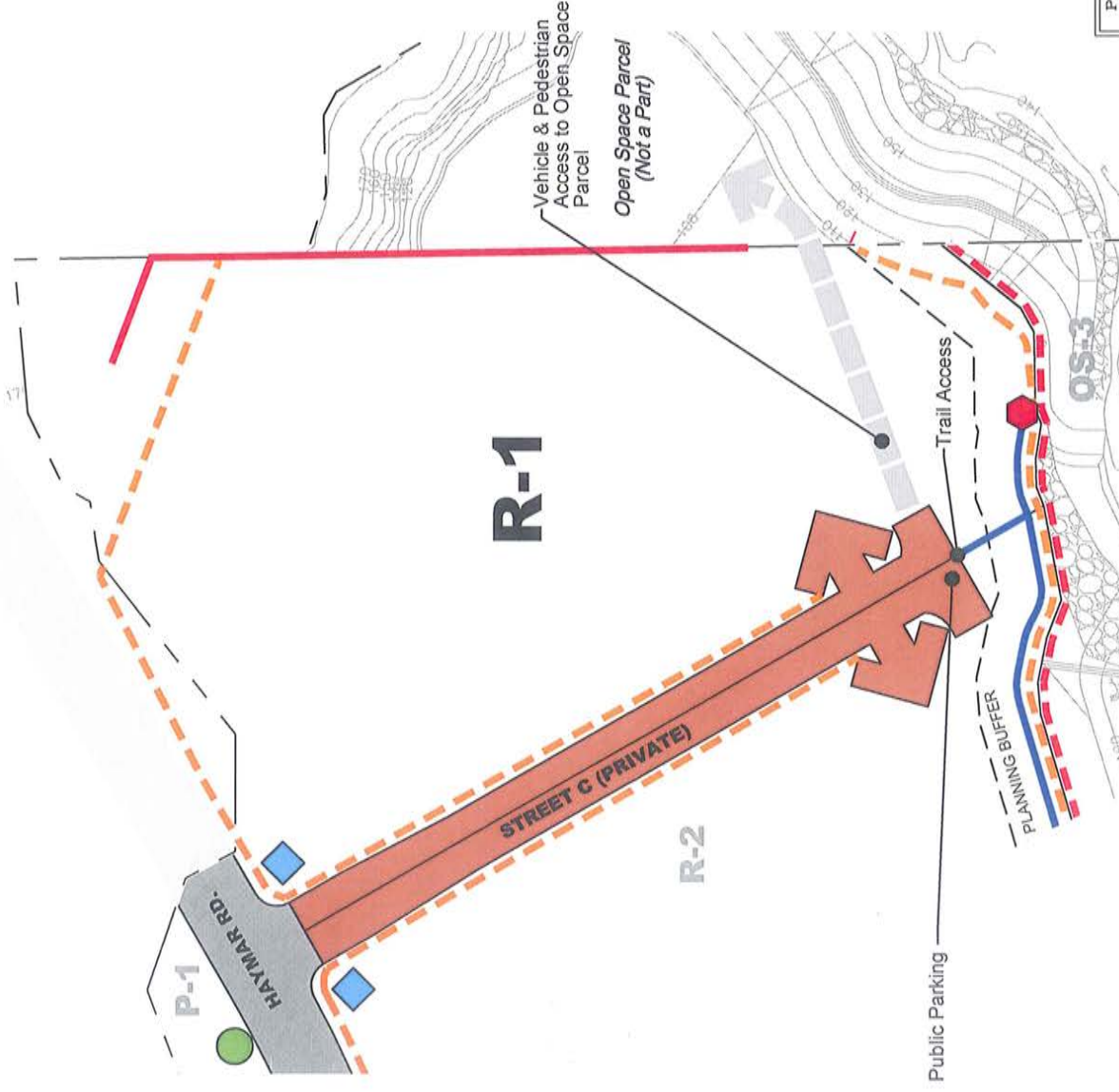
KEY MAP
NO TO SCALE



FIGURE 16

PLANNING AREA R-1

PAGE IV-7



Quarry Creek

Master Plan

4.1.2 Planning Area R-2 – Multi-Family High Density Housing - Zoning Regulations and Criteria (see Figure 17, Planning Area R-2)

Description

Planning Area R-2 (approximately 11.1 gross acres/9.4 net acres) is allocated an assumed unit count of 202 multi-family attached condominium or apartment homes, in an urban setting. Main access to Planning Area R-2 will be provided from the west side of the planning area via Street 'B', and secondary access will be provided from the joint driveway shared with Planning Area R-1 south from Haymar Drive.

Planning Area R-2 units will be constructed at an overall minimum of 20 du/ac. As a result of this density, all of the units within Planning Area R-2 shall qualify for State of California RHNA low-income affordable housing credit. Further, if this project is developed in conjunction with Planning Area R-1 as a single project, some number of these units may be income-restricted in order to meet the City's Inclusionary Housing requirements (CMC Chapter 21.85). The exact number of Inclusionary Housing units shall be pursuant to the requirements of an Affordable Housing Agreement approved as indicated in this Master Plan.

Planning Area R-2 may be developed with Planning Area R-1 as a single project as long as the overall net density of the combined planning area(s) achieves a minimum of 20 du/ac. In the event that these two planning areas are developed as an overall single project, access drives, recreation areas and other common facilities may be combined, as part of the site plan approval by the City of Carlsbad.

Common recreation facilities shall be provided in Planning Area R-2, or shared with Planning Area R-1 as indicated above. The actual area and components of the recreation facilities will be determined at the time of discretionary review and shall be based on the final number of residential unit construction within the Planning Area in accordance with the provisions of Chapter 21.45 (21.24 if apartments) of the Carlsbad Municipal Code and this Master Plan.

If developed as apartment units, development of Planning Area R-2 will require a site development plan permit. If developed with "For Sale" condominium units, development will require approval of a Planned Development Permit pursuant to the procedures identified in the City's Planned Development Ordinance, Carlsbad Municipal Code Section 21.45. Development Standards shall be pursuant to the Planned Development Ordinance unless modified by the Master Plan. Where there are conflicts between the requirements specified in Section 21.45 and the requirements of this Master Plan, the Master Plan requirements shall prevail.

A project entry statement with monument signage may be located within PA R-2.

Implementation of Master Plan Vision and Goals

The attached units proposed for Planning Area R-2 are intended to provide a high density condominium product for first-time homebuyers, small families, and single parent households. The development standards provided for Planning Area R-2 have been created to maximize the livability of the high density homes. Planning Area R-

2 is situated within walking or bicycling distance from the Quarry Creek shopping center, bus transit, the PA P-1 Park & Ride facility, and the public trails and other recreational uses within Quarry Creek.

Land Use Regulations

- General Plan Land Use Designation: RH (High Density, 15-23 du/ac)
- Dwelling Unit Allocation: Assumed per Master Plan – 202 units
- Density: Between 15 and 23 du/ac (Minimum density shall be no less than 20.0 du/ac)
- Underlying Zone Designation: RD-M (Residential Density – Multiple)

Product Type

- Multiple-family attached units, including townhomes, stacked flats or other attached apartment or condominium designs.
- Common recreation areas, including, but not limited to pocket parks and tot lots as specifically permitted accessory uses.
- Accessory uses as permitted by Section 21.45.090.

Required Development Permits

- Tentative Subdivision Map and Planned Development Permit (if "for sale" units)
- Site Development Permit (if apartments)

Development Standards

- If developed as a condominium project, development in Planning Area R-2 shall comply with all applicable regulations and development standards of the Carlsbad Municipal Code (CMC), including the RD-M zone (Chapter 21.24) and Planned Development Ordinance (Chapter 21.45.060), Table C, *General Development Standards Applicable to All Planned Developments*, Table E, *Multiple Dwelling Development Standards*, and City Council Policy 66, except as modified by this Master Plan. If developed as an apartment project, development in Planning Area R-2 shall comply with the zoning standards for the RD-M zone (CMC Chapter 21.24), except as modified in this Master Plan.
- A minimum of 100 square feet of Community Recreation Facilities per dwelling unit shall be provided on-site within Planning Area R-2 (for apartments), and a minimum of 150 square feet per dwelling unit of such facilities shall be provided if developed as for-sale condominiums. This Recreation Facilities may be part of a shared Recreation Facilities which also accommodates the active recreation facilities requirement for Planning Area R-1.
- The community recreational space shall be provided as both passive and active recreational facilities for a variety of age groups (a minimum of 75 percent of the required area shall be allocated for active facilities).
- Community recreational space shall be centrally located in relationship to all project units. Required community recreation areas shall not be located in

any required front yards and may not include any streets, drive-aisles, driveways, parking areas, walkways, or storage areas.

- Condominium uses shall comply with CMC Section 21.45.060, *General Development Standards, Table C*, with the following exceptions:
- The PA R-2 condominium uses shall comply with CMC Section 21.45.080, *Multiple-Dwelling Development Standards* with the following exceptions:

Minimum Building Setbacks Public Streets*	<ul style="list-style-type: none"> • 10 feet • 20 feet for drive-facing garages (if provided)
Minimum Building Setbacks, Private streets, private drives or Motor Court*	<ul style="list-style-type: none"> • 5 feet
Minimum Building Separation	<ul style="list-style-type: none"> • Average 10 feet between buildings • The front faces of buildings shall be an average of 20 feet apart. • Entries, stairs, and balconies may encroach up to 6 feet within these setbacks, provided a minimum 10-foot separation between structures is maintained. Patios may encroach within these setbacks without restriction, provided a 10-foot separation between structures is maintained. • Minimum 30 feet between opposing garage doors
Resident Parking	<ul style="list-style-type: none"> • <u>Condominiums</u>: Two-car resident parking required, may be in the form of the following: <ul style="list-style-type: none"> • 1-car garage at 12 feet x 20 feet (min.) and one designated uncovered space; • Two separate one car garages (min. 12 feet x 20 feet each); • 2-car tandem garage at 12 feet x 40 feet (min.); or • 2-car side by side garage at 20 feet x 20 feet (min.) • <u>Apartments</u>: <ul style="list-style-type: none"> • One space per studio and one-bedroom unit. • Two spaces per 2-bedroom and 3-bedroom units.
Private Recreational Space	<p>Each unit shall include a patio or balcony, subject to the following minimum area requirements:</p> <ul style="list-style-type: none"> • Patio: 60 square feet (min. dimension of 6 feet) • Balcony: 60 square feet (min. dimension of 6 feet) <p>Balconies or patios shall not be required for units for which those balconies or patios cannot feasibly comply with noise requirements.</p>
RV Parking	No RV Parking is required for this planning area.

* Measured from ROW line or curb if private street. Setbacks may be reduced for urban design purposes subject to a finding of consistency with the goals of this Master Plan.

PLANNING BUFFER:

A planning buffer shall be provided on the south side of Planning Area R-2 adjacent to Planning Area OS-3 beyond [uphill from] the biological buffer. This planning buffer shall maintain a minimum 50-foot width. Uses that are allowed within the planning buffer include; parkways of public and private streets, turn-arounds, parking lots, rear yards [no structures], landscaping for the ultimate adjacent development, underground utilities, recreational trails, public view areas and kiosks, passive recreational uses, maintenance accessways, fire management zones, hydromodification or water treatment zones and other natural-type features.

Setbacks

- Setbacks shall be in accordance with Chapter 21.45 (Planned Development Ordinance) Table C and E unless modified by this Master Plan. Permitted intrusions into required setbacks are per Section 21.46.120 of the CMC.

Building Height

- Maximum of three stories and 40 feet to the roof ridgeline with a minimum roof pitch of 3:12.
- Maximum of 35 feet for structures with a roof pitch less than 3:12.
- For two-story duplex dwellings with a minimum roof pitch of 3:12 the maximum height shall be 30 feet.
- For two-story duplex dwellings with a roof pitch less than 3:12 the maximum height shall be 24 feet.

Affordable Housing

The Inclusionary Housing requirement for Planning Area R-2 shall be provided in Planning Area R-1 and/or R-2 in accordance with the requirements and schedule established by an Affordable Housing Agreement for the Quarry Creek project.

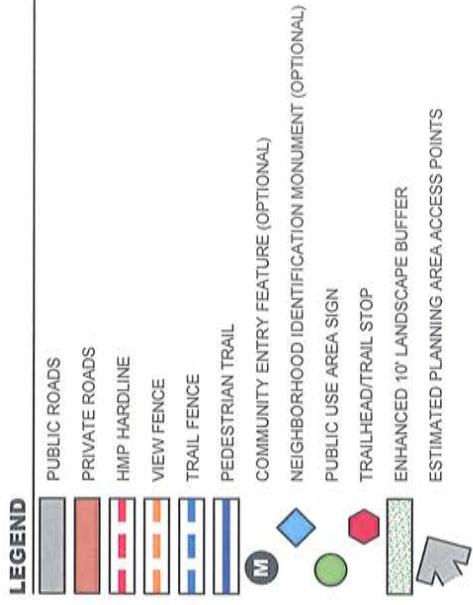
Special Design Criteria

1. In order to achieve an efficient, urban streetscape look, a minimum 10-foot enhanced landscape buffer shall be provided on Street 'B' and on Haymar Drive.
2. Carports or garages shall not be directly accessed from Street 'B' or from Haymar Drive.
3. Parking areas shall be screened from public or private streets with a combination of low walls, berms, or landscaping.
4. Bicycle storage areas or racks shall be provided for a minimum of 25% of the units within the project.

5. Pedestrian connections shall be included to facilitate access to the Community Facility site, adjoining neighborhoods, trails, and adjacent Shopping Center.
6. Traffic calming elements shall be incorporated into the design of internal drives within this Planning Area as needed in order to reduce the speed of through traffic and enhance pedestrian safety.
7. Fencing within 60 feet of open space areas containing high-fuel chaparral and other flammable vegetation shall be composed of non-combustible materials, or as required per the conservation easement.
8. Landscaping in areas adjacent to open spaces shall be compatible with preserved native vegetation.
9. Lighting adjacent to the Open Space areas shall be provided through the use of low-sodium lighting, selectively placed, shielded, and directed away from the adjacent Planning Areas OS-2 and OS-3.
10. A noise analysis shall be conducted to determine whether noise levels from Hwy 78 will exceed adopted noise standard levels. If noise walls over 6 feet high are required, a combination of berm and maximum 6-foot high noise wall shall be used to mitigate noise impacts.
11. A minimum of three public parking spaces shall be provided at the southerly terminus of the main entry drive on Planning Area R-2 for community trail users. Such parking spaces shall be restricted to use only during daylight hours.

R-2 **MULTI-FAMILY** **RESIDENTIAL** **HIGH DENSITY (RH)**

11.1 Gross Acres
 9.4 Net Acres
 21.4 DU/AC
 202 DU's



* Exact number and locations of access points will be determined through site design process.

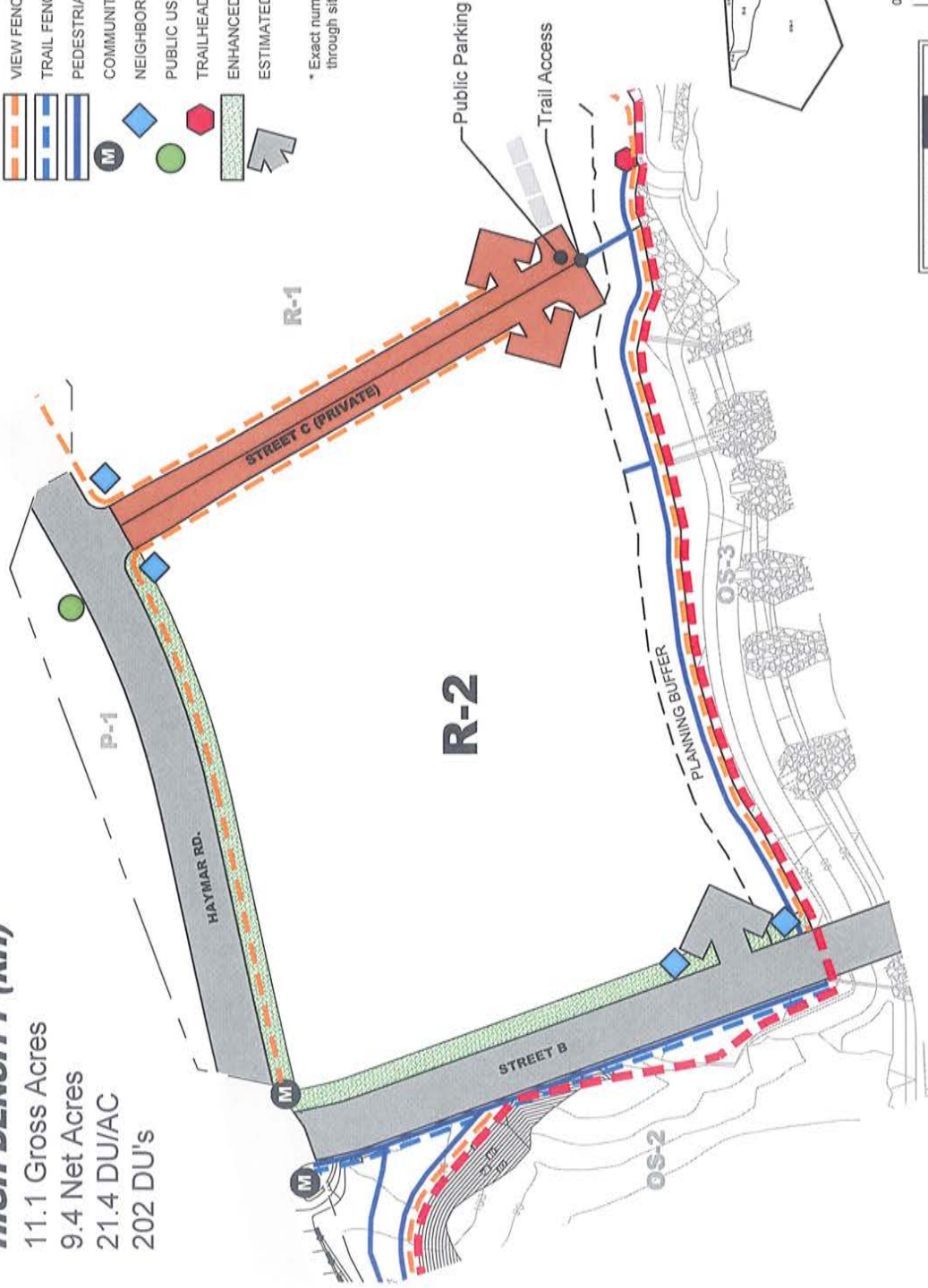


FIGURE 17

4.1.3 **Planning Area R-3 – Multi-Family Medium-High Density Housing - Zoning Regulations and Criteria (See Figure 18, Planning Area R-3)**

Description

Planning Area R-3 (approximately 6.7 gross acres/5.7 net acres) is allocated an assumed unit count of 81 multi-family attached or detached homes. This planning area shall be developed at an overall minimum net density of 12 du/acre, and may be developed at up to a net density of 18 du/ac if a standards modification for density is approved. Access to Planning Area R-3 will be provided via one or two access driveways (exact number of driveways to be determined through site plan review) at Street 'A' and/or Street 'B'.

Development of Planning Area R-3 will require approval of a Planned Development Permit pursuant to the procedures identified in the City's Planned Development Ordinance, Carlsbad Municipal Code Section 21.45. Development Standards shall be pursuant to the Planned Development Ordinance unless modified by the Master Plan. Where there are conflicts between the requirements specified in Section 21.45 and the requirements of this Master Plan, the Master Plan requirements shall prevail.

An overall project entry statement with monument signage may be located within PA R-3.

Implementation of Master Plan Vision and Goals

The attached or detached units proposed for Planning Area R-3 are intended to enhance the diversity of housing opportunities available within the community by providing a medium-high density attached housing product. The units in Planning Area R-3 will be ideally situated in close proximity to the Quarry Creek Shopping Center, the Community Facilities site and the passive public trail and the community recreation area and other passive recreational and trail uses within Quarry Creek.

As mentioned in the preamble to this chapter, as part of the City of Oceanside's approval of the Reclamation Plan, a management plan was developed to cover the portions of the site located within 200 feet of the El Salto Falls. The intent of this Falls Management Plan was to put in place provisions for the securing of that area until a final development and management plan is put in place with the approval of a development plan for the Quarry Creek site. The current boundaries of this area cover portions of Planning Areas R-1, R-2, R-3 and OS-3, the Buena Vista Creek Channel and buffer area. A portion of this area, directly adjacent to and including the El Salto Falls, and including the 100 foot biological buffer, is also covered by a conservation easement and will ultimately be managed by a conservation entity in accordance with the approved Quarry Creek Preserve Management plan. The most superior viewing location of the Falls is from the northeastern corner of PA R-3.

A final development and management plan will be put in place, and incorporated into this Master Plan for those portions of the Falls Management Plan area which lie outside of the existing conservation easement. This plan will be developed in consultation with the Native Americans and will ensure that development within this area is sensitive to the cultural values and designation of the El Salto Falls. It is

expected that this plan will address issues such as development design, access controls, interpretive and educational opportunities, and will detail the transition and relationship between the El Salto Falls and adjacent development on Planning Areas R1, R-2 and R-3.

Land Use Regulations

- General Plan Land Use Designation: RMH (Medium Density, 8-15 du/ac)
- Dwelling Unit Allocation: Assumed per Master Plan – 81 units
- Density: 12 to 15 du/ac (12 du/ac minimum)
- Underlying Zone Designation: RD-M (Residential Density – Multiple)

Product Type

- Multiple-family townhomes, flats or other attached condominium designs..
- Common recreation areas, including, but not limited to pocket parks and tot lots as specifically permitted accessory uses.
- Accessory uses as permitted by Section 21.45.090.

Required Development Permits

- Tentative Subdivision Map
- Planned Development Permit
- Hillside Development Permit (with master tentative map)

Development Standards

- Development in Planning Area R-3 shall comply with all applicable regulations and development standards of the Carlsbad Municipal Code (CMC), including the RD-M zone (Chapter 21.24) and Planned Development Ordinance (Chapter 21.45.060), Table C, *General Development Standards Applicable to All Planned Developments*, Table E, *Multiple Dwelling Development Standards*, and City Council Policy 66, except as modified by the Quarry Creek Master Plan. These standards shall apply for either detached courtyard homes or attached Multiple-Family dwellings.
- Multifamily attached condominium homes shall comply with Section 21.45.060 General Development Standards, with the following exceptions:

Driveway (Project)	Parkways/sidewalks will not be required in motor courts which provide access to garages.
Community Recreation Space	<p>A minimum of 200 square feet per unit of community recreation area shall be provided.</p> <p>At least 25% of the required community recreation requirement must be provided within Planning Area R-3. The balance (75% of required area) shall be provided as active facilities within Planning Area P-3, which is within convenient walking distance for the residents of Planning Area R-3. The overall aggregate community recreation space shall be provided as both passive and active recreation facilities for a variety of age groups (75%</p>

	of the area allocated for active facilities at Planning Area P-3). The portions of the recreation area designed for passive and active uses shall be counted towards the common recreation area requirements pursuant to the Chapter 21.45.
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- Multifamily condominium homes shall comply with Section 21.45.080 Multiple-Dwelling Development Standards, with the following exceptions:

Building Height	35 feet and three stories with a minimum roof pitch of 3:12
Minimum Building Setbacks Public Street*	<ul style="list-style-type: none"> • An enhanced 10-foot fully-landscaped structural setback shall be provided from the right-of-way on Marron Road and Street 'B'. No direct unit driveway access onto Marron Road or Street 'B' is allowed.
Minimum Building Setbacks, Private Driveway*	<p>Internal project setbacks from private streets or private drives shall be a minimum of:</p> <ul style="list-style-type: none"> • 5 feet. • 20 feet for drive-facing garages (may be reduced to 5-feet if visitor parking bays provided).
Minimum Bldg Separation	<ul style="list-style-type: none"> • Average 10 feet between structures. • Garage: 30 feet between opposing garage doors.
Resident Parking	<ul style="list-style-type: none"> • Two-car garage per unit. • Tandem parking is allowed.
Private Rec. Space	<ul style="list-style-type: none"> • Minimum 6 feet x 10 feet covered porches or front or rear patios will be provided.

* Measured from ROW line or curb if private street. Setbacks may be reduced for urban design purposes subject to a finding of consistency with the goals of this Master Plan.

PLANNING BUFFER:

A planning buffer shall be provided on the north side of Planning Area R-3 adjacent to Planning Area OS-3 beyond [uphill from] the biological buffer. This planning buffer shall maintain a minimum 50-foot width. Uses that are allowed within the planning buffer include; parkways of public and private streets, turn-arounds, parking lots, rear yards [no structures], landscaping for the ultimate adjacent development, underground utilities, recreational trails, public view areas and kiosks, passive recreational uses, maintenance accessways, fire management zones, hydromodification or water treatment zones and other natural-type features.

Affordable Housing

The Inclusionary Housing requirements for Planning Area R-3 shall be provided in Planning Area R-1 and/or R-2 in accordance with the schedule established by an Affordable Housing Agreement for Quarry Creek.

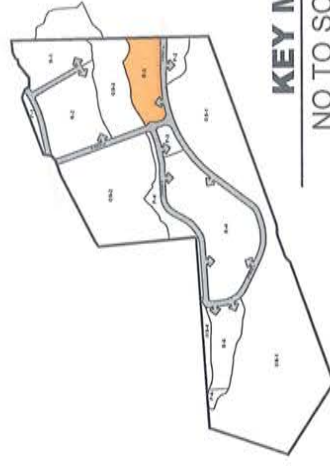
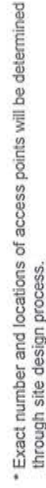
Special Design Criteria

1. When noise walls over 6 feet high are required, a combination of berm and maximum 6-foot high noise wall shall be used to mitigate noise impacts.

2. Doors, porches, balconies and walkways should face the streets, to the extent possible, to promote social interaction along the streetscape.
3. No direct vehicular access onto Street 'A' shall be provided except at the private drive locations.
4. To the extent feasible, garages shall be located so that the garage openings do not face public or private streets.
5. For courtyard homes, a landscaped buffer shall be provided between the driveway or auto court and the living area of the residential structure. Motor courts shall be landscaped and accented with enhanced paving.
6. A 10-foot enhanced landscape buffer shall be provided along the Street 'A' and Street 'B' frontage. Building setbacks shall be measured from the edge of the right-of-way. Reductions may be permitted for street-fronting units as approved by the City. Permitted intrusions into setbacks are per CMC Section 21.46.120.
7. Pedestrian connections shall be included to facilitate access to the Community Facility site, public trails and adjoining neighborhoods.
8. If developed as multifamily units, a refuse collection area(s) may be provided in accordance with section VI of this Master Plan. A refuse collection area(s) shall not be required if individual unit refuse collection is proposed.
9. Lighting adjacent to Planning Area OS-3 shall use low-sodium lighting and shall be shielded away from the adjacent open spaces.
10. Exterior building elevations facing Street 'A' and Street 'B' shall be enhanced to provide for an attractive streetscape from the public roadway.
11. The adjacent existing crib wall shall be partially buried and/or otherwise obscured prior to development of Planning Area R-3, generally consistent with Figure 42, in a manner as approved by the City Planner.
12. Prior to development of any cultural or other open space facility on the Open Space Parcel across Buena Vista Creek within the city of Oceanside, a compatibility analysis shall be conducted by the City of Oceanside and any substantive design or performance measures necessary to achieve compatibility between that proposed use and the Planning Area R-3 housing development shall be incorporated into the adjacent Open Space use, to the satisfaction of the City of Carlsbad.

**MULTI-FAMILY
RESIDENTIAL
MEDIUM-HIGH DENSITY (RMH)**

Master Plan



KEY MAP
NO TO SCALE



4.1.4 Planning Area R-4– Multi-Family Attached or Detached Courtyard Homes - Site Zoning Regulations and Criteria (see Figure 19, *Planning Area R-4*)

Description

Planning Area R-4 (approximately 18.4 gross acres/15.6 net acres) is allocated an assumed 188 multi-family attached or single-family detached courtyard homes. This planning area shall be developed at an overall minimum net density of 12 du/acre based on the overall net acreage of the entire planning area. Notwithstanding the fact that some subarea portions of this planning area may be constructed at higher or lower net density individually, the resulting overall net density of the planning area must achieve at least 12.0 du/ac in order to demonstrate consistency with moderate housing affordability policies of the Carlsbad Housing Element.

Access to Planning Area R-4 will be provided off of the Street 'A' loop.

Development of Planning Area R-4 will require approval of a Planned Development Permit pursuant to the procedures identified in the City's Planned Development Ordinance, Carlsbad Municipal Code Section 21.45. Development Standards shall be pursuant to the Planned Development Ordinance unless modified by the Master Plan. Where there are conflicts between the requirements specified in Section 21.45 and the requirements of this Master Plan, the Master Plan requirements shall prevail.

Implementation of Master Plan Vision and Goals

The attached or detached units proposed for Planning Area R-4 are intended to provide a medium-high density attached housing product. The units in Planning Area R-4 will be situated in close proximity to the Quarry Creek Shopping Center, the Community Facilities Site and convenient access to the community recreation area, public trails and other recreational uses within Quarry Creek and the adjacent BVCER.

Land Use Regulations

- General Plan Land Use Designation: RMH (Medium-High Density, 8-15 du/ac).
- Dwelling Unit Allocation: Assumed per Master Plan – 188 units
- Density: 12 to 15 du/ac
- Underlying Zone Designation: RD-M (Residential Density – Multiple)

Product Type

- Multiple-family townhomes, flats or other attached or detached condominium designs.
- Common recreation areas, including, but not limited to pocket parks and tot lots as specifically permitted accessory uses.
- Accessory uses as permitted by Section 21.45.090.

Required Development Permits

- Tentative Subdivision Map
- Planned Development Permit
- Hillside Development Permit (with master tentative map)

Development Standards

- Development in Planning Area R-4 shall comply with all applicable regulations and development standards of the Carlsbad Municipal Code (CMC), including the RD-M zone (Chapter 21.24) and Planned Development Ordinance (Chapter 21.45.060), Table C, *General Development Standards Applicable to All Planned Developments*, Table E, *Multiple Dwelling Development Standards*, and City Council Policy 66, except as modified by the Quarry Creek Master Plan. These standards shall apply for either detached homes or attached Multiple-Family dwellings.
- Multifamily attached courtyard condominium homes shall comply with Section 21.45.060 General Development Standards, with the following exceptions:

Driveway (Project)	Parkways/sidewalks will not be required in motor courts which provide access to garages.
Community Recreation Space	<p>A minimum of 200 square feet per unit of community recreation area shall be provided.</p> <p>At least 25% of the required community recreation requirement must be provided within Planning Area R-4. The balance (75% of required area) shall be provided as active facilities within Planning Area P-3, which is within convenient walking distance for the residents of Planning Area R-4. The overall aggregate community recreation space shall be provided as both passive and active recreation facilities for a variety of age groups (a minimum of 75% of the area allocated for active facilities at Planning Area P-3). The portions of the recreation area designed for passive and active uses shall be counted towards the common recreation area requirements pursuant to Chapter 21.45.</p>

- Multifamily condominium homes shall comply with Section 21.45.080 Multiple-Dwelling Development Standards, with the following exceptions:

Building Height	<ul style="list-style-type: none"> • Multiple Family Attached Dwellings: 35 feet and three stories with a minimum roof pitch of 3:12
Minimum Building Setbacks, Public Street*	<ul style="list-style-type: none"> • An enhanced 10-foot fully-landscaped structural setback shall be provided from the right-of-way on all public streets. No direct vehicular access onto Street 'A' is allowed. Reductions may be permitted for street-fronting units as approved by the City.
Minimum	Internal project setbacks from private streets or private drives shall

Building Setbacks, Private Driveway*	be a minimum of: <ul style="list-style-type: none"> • 5 feet • 20 feet for drive-facing garages (may be reduced to 5-feet if visitor parking bays provided).
Minimum Bldg Separation	<ul style="list-style-type: none"> • Average 20 feet between buildings on paseos (porches from each building may encroach up to 6 feet into this separation for a total of 12 feet). • Average 10 feet between structures. • Garage: 30 feet between opposing garage doors.
Resident Parking	<ul style="list-style-type: none"> • Two-car garage per unit. • Tandem parking is allowed.
Private Recreational Space	<ul style="list-style-type: none"> • Minimum 6 feet x 10 feet covered porches or rear or front patios will be provided.

* Measured from ROW line or curb if private street. Setbacks may be reduced for urban design purposes subject to a finding of consistency with the goals of this Master Plan.

Note: If Alternative Uses per Section 3.1.4 of this master plan (senior housing or for-rent apartments) are proposed, the project shall be designed in accordance with development standards of CMC Section 21.84 and 21.24 (respectively) instead of the development standards listed above.

Affordable Housing

The Inclusionary Housing requirements for Planning Area R-4 shall be provided in Planning Area R-1 or R-2 in accordance with the schedule established by an Affordable Housing Agreement for Quarry Creek.

Special Design Criteria

1. If noise walls over 6 feet high are required, a combination of berm and maximum 6-foot high noise wall shall be used to mitigate noise impacts.
2. Doors, porches, balconies and walkways should face the streets, to the extent possible, to promote social interaction along the streetscape.
3. Porches shall have a minimum depth of 6 feet and a minimum width of 10 feet.
4. No direct garage access onto Street 'A' shall be provided.
5. If attached courtyard homes are constructed, a landscaped buffer shall be provided between the driveway or auto court and the living area of the residential structure. Motor courts shall be landscaped and accented with enhanced paving.
6. A 10-foot enhanced landscape buffer shall be provided on Street 'A' fronting the north and south sides of the Planning Area. Permitted

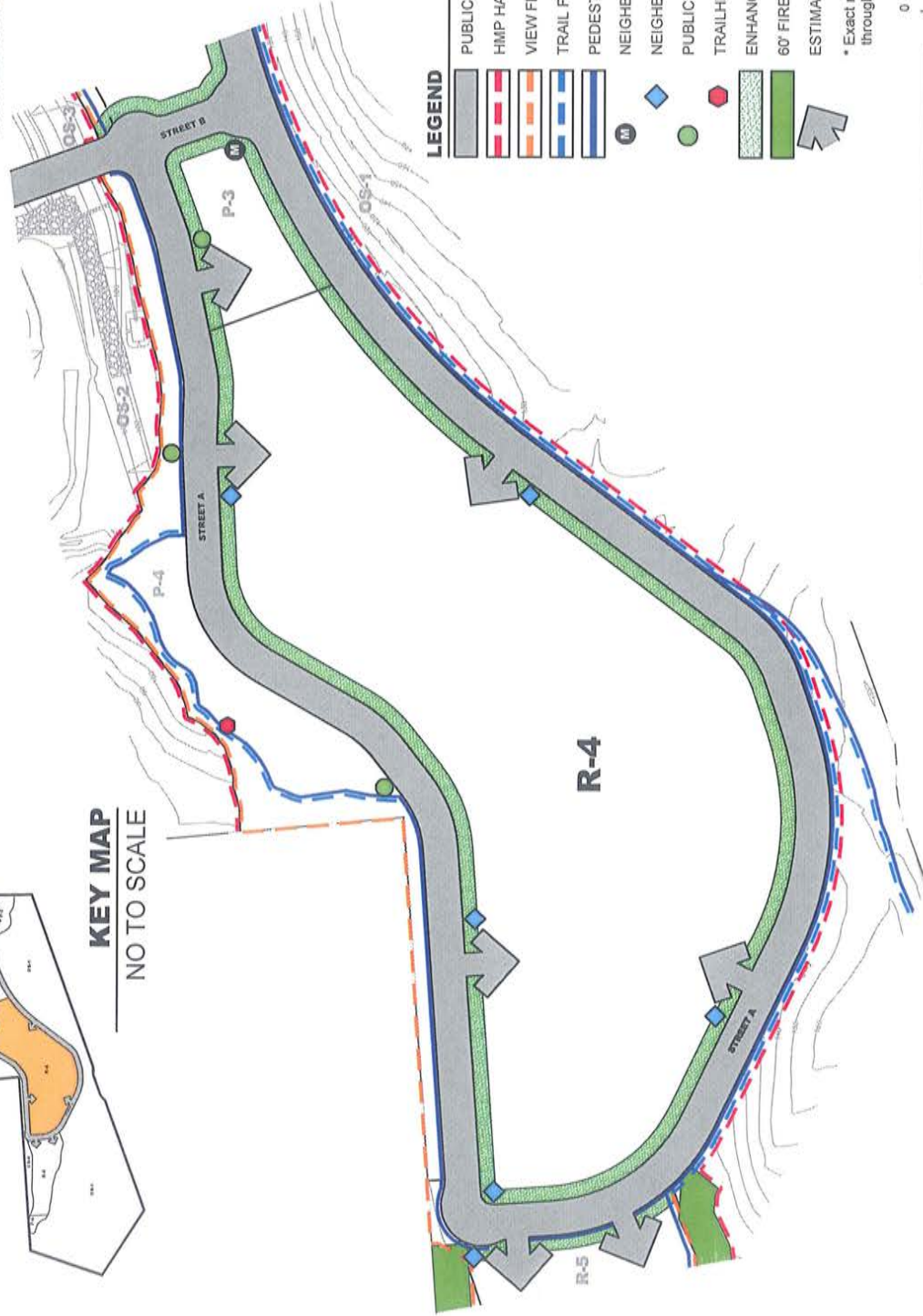
intrusions into required setbacks are per Section 21.46.120 of the CMC. Reductions may be permitted for street-fronting units as approved by the City.

7. Pedestrian connections shall be included to facilitate access to the Community Facilities site, public trails and adjoining neighborhoods.
8. Lighting adjacent to Planning Area OS-1 or OS-2 shall be provided through the use of low-sodium lighting and shall be shielded away from the adjacent open spaces.



KEY MAP
NO TO SCALE

R-4
MULTI-FAMILY
RESIDENCY (RMH)
MEDIUM-HIGH DENSITY
18.4 Gross Acres
15.6 Net Acres
12 DU/AC
188 DU'S



LEGEND

- PUBLIC ROADS
 - HMP HARDLINE
 - VIEW FENCE
 - TRAIL FENCE
 - PEDESTRIAN TRAIL
 - NEIGHBORHOOD IDENTIFICATION MONUMENT (OPTIONAL)
 - NEIGHBORHOOD IDENTIFICATION MONUMENT (OPTIONAL)
 - PUBLIC USE AREA SIGN
 - TRAILHEAD/TRAIL STOP
 - ENHANCED 10' LANDSCAPE BUFFER
 - 60' FIRE SUPPRESSION
 - ESTIMATED PLANNING AREA ACCESS POINTS
- * Exact number and locations of access points will be determined through site design process.



FIGURE 19

Quarry Creek

Master Plan

PLANNING AREA R-4

PAGE IV-23

4.1.5 Planning Area R-5– Multi-Family Attached or Detached Courtyard Homes - Site Zoning Regulations and Criteria (See Figure 20, *Planning Area R-5*)

Description

Planning Area R-5 (approximately 5.6 gross acres/4.8 net acres) is allocated an assumed 56 multi-family attached homes. Access to Planning Area R-5 will be provided off of a local street which will connect off the Street 'A' loop. This planning area shall be developed at an overall minimum net density of 8 du/acre if the Housing Element minimum of 200 units at minimum 12 du/ac has been approved on Planning Areas R-3 and R-4. Otherwise Planning Area R-5 must be developed at a minimum 12 du/ac density.

Development of Planning Area R-5 will require approval of a Planned Development Permit pursuant to the procedures identified in the City's Planned Development Ordinance, Carlsbad Municipal Code Section 21.45. Development Standards shall be pursuant to the Planned Development Ordinance unless modified by the Master Plan. Common recreation facilities shall be provided in a single community-oriented recreation area Planning Area P-3 (75% of required area) and the remainder will be provided within Planning Area R-5 (25% of required area). Where there are conflicts between the requirements specified in Section 21.45 and the requirements of this Master Plan, the Master Plan requirements shall prevail.

Implementation of Master Plan Vision and Goals

The attached or detached units proposed for Planning Area R-5 are intended to enhance the diversity of housing opportunities available within the community by providing a medium-high density attached and/or detached housing alternative to the more traditional attached housing products. The units in Planning Area R-5 will be situated in convenient proximity to the Quarry Creek Shopping Center, the Community Facilities site and the public trail system and other recreational uses within Quarry Creek.

Land Use Regulations

- General Plan Land Use Designation: RMH (Medium-High Density, 8-15 du/ac)
- Dwelling Unit Allocation: Assumed per Master Plan – 56 units
- Density: 8 to 15 du/ac
- Underlying Zone Designation: RD-M (Residential Density – Multiple)

Product Type

- Multiple-family townhomes, flats or other attached or detached condominium designs.
- Common recreation areas, including, but not limited to pocket parks and tot lots as specifically permitted accessory uses.
- Accessory uses as permitted by Section 21.45.090.

Required Development Permits

- Tentative Subdivision Map
- Planned Development Permit
- Hillside Development Permit (with master tentative map)

Development Standards

- Development in Planning Area R-5 shall comply with all applicable regulations and development standards of the Carlsbad Municipal Code (CMC), including the RD-M zone (Chapter 21.24) and Planned Development Ordinance (Chapter 21.45.060), Table C, *General Development Standards Applicable to All Planned Developments*, Table E, *Multiple Dwelling Development Standards*, and City Council Policy 66, except as modified by the Quarry Creek Master Plan. These standards shall apply for either detached courtyard homes or attached Multiple-Family dwellings.
- Multifamily attached courtyard condominium homes shall comply with Section 21.45.060 General Development Standards, with the following exceptions:

Driveway (Project)	Parkways/sidewalks will not be required in motor courts which provide access to garages.
Community Recreation Space	<p>A minimum of 200 square feet per unit of community recreation area shall be provided.</p> <p>At least 25% of the required community recreation requirement must be provided within Planning Area R-5. The balance (75% of required area) shall be provided as active facilities within Planning Area P-3, which is within convenient walking distance for the residents of Planning Area R-5. The overall aggregate community recreation space shall be provided as both passive and active recreation facilities for a variety of age groups (a minimum of 75% of the area allocated for active facilities at Planning Area P-3). The portions of the recreation area designed for passive and active uses shall be counted towards the common recreation area requirements pursuant to the Planned Development Ordinance.</p>

- Multifamily attached courtyard condominium homes shall comply with Section 21.45.080 Multiple-Dwelling Development Standards, with the following exceptions:

Building Height	<ul style="list-style-type: none"> Detached Courtyard or Multifamily attached condos: 30 feet and two stories with a minimum roof pitch of 3:12.
Minimum Building Setbacks Public Street*	<ul style="list-style-type: none"> An enhanced 10-foot fully-landscaped structural setback shall be provided from the right-of-way on all public streets.
Minimum Building Setbacks, Private Driveway*	<p>Internal project setbacks from private streets or private drives shall be a minimum of:</p> <ul style="list-style-type: none"> 5 feet. <p>20 feet for drive-facing garages (may be reduced to 5-feet if visitor parking bays provided).</p>
Minimum Bldg Separation	<ul style="list-style-type: none"> Average 10 feet between structures. Garage: 30 feet between opposing garage doors.
Resident Parking	<ul style="list-style-type: none"> Two-car garage per unit. Tandem parking is allowed.
Private Recreational Space	<ul style="list-style-type: none"> Minimum 6 feet x 10 feet covered porches or front patios will be provided.

* Measured from ROW line or curb if private street. Setbacks may be reduced for urban design purposes subject to a finding of consistency with the goals of this Master Plan.

Affordable Housing

The Inclusionary Housing requirements for Planning Area R-5 shall be provided in Planning Area R-1 or R-2 in accordance with the schedule established by an Affordable Housing Agreement for Quarry Creek.

Special Design Criteria

1. When noise walls over 6 feet high are required, a combination of berm and maximum 6-foot high noise wall shall be used to mitigate noise impacts.
2. Doors, porches, balconies and walkways should face the streets, to the extent possible, to promote social interaction along the streetscape.
3. Porches shall have a minimum depth of 6 feet and a minimum width of 10 feet. Permitted intrusions into required setbacks are per Section 21.46.120 of the CMC.
4. Building elevations visible from the surrounding roadways shall feature enhanced elevations.
5. For multifamily courtyard homes, a landscaped buffer shall be provided between the driveway or auto court and the living area of the residential structure.

6. If multifamily courtyard homes are constructed, motor courts shall be landscaped and accented with enhanced paving.
7. Pedestrian connections shall be included to facilitate access to the Community Facilities site, public trails and adjoining neighborhoods.
8. Lighting adjacent to Planning Areas OS-1 and OS-4, lighting of the open spaces shall be minimized through the use of low-sodium lighting and shall be shielded away from the adjacent open spaces.
9. A vehicular and pedestrian access through this planning area shall be provided for the public to access Planning Area P-5.
10. Homes in Planning Area P-5 shall be finished with earth-tone colors.
11. Any development proposed within the Fire Suppression Area as shown on Figure 20 shall be constructed with fire resistive design and fire-rated materials, only as approved by the Fire Prevention Department. Accessory structures and landscape materials located within this Fire Suppression Area shall also be only as approved by the Fire Prevention Department.

4.1.5 Planning Area R-5– Multi-Family Attached or Detached Courtyard Homes - Site Zoning Regulations and Criteria (See Figure 20, *Planning Area R-5*)

Description

Planning Area R-5 (approximately 5.6 gross acres/4.8 net acres) is allocated an assumed 56 multi-family attached homes. Access to Planning Area R-5 will be provided off of a local street which will connect off the Street 'A' loop. This planning area shall be developed at an overall minimum net density of 8 du/acre if the Housing Element minimum of 200 units at minimum 12 du/ac has been approved on Planning Areas R-3 and R-4. Otherwise Planning Area R-5 must be developed at a minimum 12 du/ac density.

Development of Planning Area R-5 will require approval of a Planned Development Permit pursuant to the procedures identified in the City's Planned Development Ordinance, Carlsbad Municipal Code Section 21.45. Development Standards shall be pursuant to the Planned Development Ordinance unless modified by the Master Plan. Common recreation facilities shall be provided in a single community-oriented recreation area Planning Area P-3 (75% of required area) and the remainder will be provided within Planning Area R-5 (25% of required area). Where there are conflicts between the requirements specified in Section 21.45 and the requirements of this Master Plan, the Master Plan requirements shall prevail.

Implementation of Master Plan Vision and Goals

The attached or detached units proposed for Planning Area R-5 are intended to enhance the diversity of housing opportunities available within the community by providing a medium-high density attached and/or detached housing alternative to the more traditional attached housing products. The units in Planning Area R-5 will be situated in convenient proximity to the Quarry Creek Shopping Center, the Community Facilities site and the public trail system and other recreational uses within Quarry Creek.

Land Use Regulations

- General Plan Land Use Designation: RMH (Medium-High Density, 8-15 du/ac)
- Dwelling Unit Allocation: Assumed per Master Plan – 56 units
- Density: 8 to 15 du/ac
- Underlying Zone Designation: RD-M (Residential Density – Multiple)

Product Type

- Multiple-family townhomes, flats or other attached or detached condominium designs.
- Common recreation areas, including, but not limited to pocket parks and tot lots as specifically permitted accessory uses.
- Accessory uses as permitted by Section 21.45.090.

Required Development Permits

- Tentative Subdivision Map
- Planned Development Permit
- Hillside Development Permit (with master tentative map)

Development Standards

- Development in Planning Area R-5 shall comply with all applicable regulations and development standards of the Carlsbad Municipal Code (CMC), including the RD-M zone (Chapter 21.24) and Planned Development Ordinance (Chapter 21.45.060), Table C, *General Development Standards Applicable to All Planned Developments*, Table E, *Multiple Dwelling Development Standards*, and City Council Policy 66, except as modified by the Quarry Creek Master Plan. These standards shall apply for either detached courtyard homes or attached Multiple-Family dwellings.
- Multifamily attached courtyard condominium homes shall comply with Section 21.45.060 General Development Standards, with the following exceptions:

Driveway (Project)	Parkways/sidewalks will not be required in motor courts which provide access to garages.
Community Recreation Space	<p>A minimum of 200 square feet per unit of community recreation area shall be provided.</p> <p>At least 25% of the required community recreation requirement must be provided within Planning Area R-5. The balance (75% of required area) shall be provided as active facilities within Planning Area P-3, which is within convenient walking distance for the residents of Planning Area R-5. The overall aggregate community recreation space shall be provided as both passive and active recreation facilities for a variety of age groups (a minimum of 75% of the area allocated for active facilities at Planning Area P-3). The portions of the recreation area designed for passive and active uses shall be counted towards the common recreation area requirements pursuant to the Planned Development Ordinance.</p>

- Multifamily attached courtyard condominium homes shall comply with Section 21.45.080 Multiple-Dwelling Development Standards, with the following exceptions:

Building Height	<ul style="list-style-type: none"> Detached Courtyard or Multifamily attached condos: 30 feet and two stories with a minimum roof pitch of 3:12.
Minimum Building Setbacks Public Street*	<ul style="list-style-type: none"> An enhanced 10-foot fully-landscaped structural setback shall be provided from the right-of-way on all public streets.
Minimum Building Setbacks, Private Driveway*	<p>Internal project setbacks from private streets or private drives shall be a minimum of:</p> <ul style="list-style-type: none"> 5 feet. <p>20 feet for drive-facing garages (may be reduced to 5-feet if visitor parking bays provided).</p>
Minimum Bldg Separation	<ul style="list-style-type: none"> Average 10 feet between structures. Garage: 30 feet between opposing garage doors.
Resident Parking	<ul style="list-style-type: none"> Two-car garage per unit. Tandem parking is allowed.
Private Recreational Space	<ul style="list-style-type: none"> Minimum 6 feet x 10 feet covered porches or front patios will be provided.

* Measured from ROW line or curb if private street. Setbacks may be reduced for urban design purposes subject to a finding of consistency with the goals of this Master Plan.

Affordable Housing

The Inclusionary Housing requirements for Planning Area R-5 shall be provided in Planning Area R-1 or R-2 in accordance with the schedule established by an Affordable Housing Agreement for Quarry Creek.

Special Design Criteria

1. When noise walls over 6 feet high are required, a combination of berm and maximum 6-foot high noise wall shall be used to mitigate noise impacts.
2. Doors, porches, balconies and walkways should face the streets, to the extent possible, to promote social interaction along the streetscape.
3. Porches shall have a minimum depth of 6 feet and a minimum width of 10 feet. Permitted intrusions into required setbacks are per Section 21.46.120 of the CMC.
4. Building elevations visible from the surrounding roadways shall feature enhanced elevations.
5. For multifamily courtyard homes, a landscaped buffer shall be provided between the driveway or auto court and the living area of the residential structure.

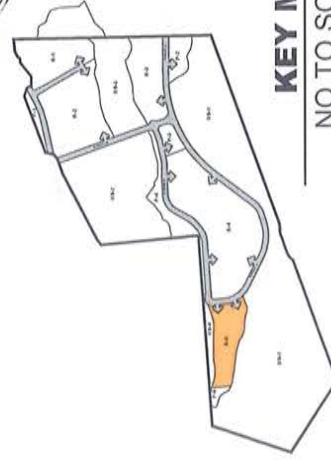
6. If multifamily courtyard homes are constructed, motor courts shall be landscaped and accented with enhanced paving.
7. Pedestrian connections shall be included to facilitate access to the Community Facilities site, public trails and adjoining neighborhoods.
8. Lighting adjacent to Planning Areas OS-1 and OS-4, lighting of the open spaces shall be minimized through the use of low-sodium lighting and shall be shielded away from the adjacent open spaces.
9. A vehicular and pedestrian access through this planning area shall be provided for the public to access Planning Area P-5.
10. Homes in Planning Area P-5 shall be finished with earth-tone colors.
11. Any development proposed within the Fire Suppression Area as shown on Figure 20 shall be constructed with fire resistive design and fire-rated materials, only as approved by the Fire Prevention Department. Accessory structures and landscape materials located within this Fire Suppression Area shall also be only as approved by the Fire Prevention Department.

LEGEND

- PUBLIC ROADS
 - HMP HARDLINE
 - VIEW FENCE
 - TRAIL FENCE
 - PEDESTRIAN TRAIL (PUBLIC) (EXACT LOCATION TO BE DETERMINED BY SITE PLAN)
 - NEIGHBORHOOD IDENTIFICATION MONUMENT (OPTIONAL)
 - PUBLIC USE AREA SIGN
 - TRAIL HEAD/TRAIL STOP
 - ENHANCED 10' LANDSCAPE BUFFER
 - 60' FIRE SUPPRESSION
 - ESTIMATED PLANNING AREA ACCESS POINTS
- * Exact number and locations of access points to be determined through site design process.

R-5 MULTI-FAMILY RESIDENTIAL MEDIUM-HIGH DENSITY (RMH)

5.6 Gross Acres
4.8 Net Acres
11.8 DU/AC
56 DU's



KEY MAP
NO TO SCALE



PLANNING
SYSTEMS

FIGURE 20

PLANNING AREA R-5

Quarry Creek

Master Plan

4.2 Public Use Planning Areas

4.2.1 Planning Areas P-1 thru P-5 – Public Use Areas - Site Zoning Regulations and Criteria (See Figure 21, *Planning Areas P-1 thru P-5*)

The Public Use Planning Areas provide for Community Facilities, centralized Community recreation areas, and public trail, viewing areas and overall water quality and hydromodification basins for the Quarry Creek community.

Community Facilities requirements for the Quarry Creek Master Plan are based on Section 21.25.070 of the CMC which specifies that the number of acres of Community Facilities required by master plan developments is calculated as 2.0 acres, plus 1% of the unconstrained acreage of the site. The Constraints Analysis of the property based on the existing updated biological report and Reclamation hardline concludes that there are 67.8 acres of unconstrained area on the property. Therefore, the requirement for Community Facilities for the Quarry Creek plan would be 1% of 67.8 acres (0.67 acres) + 2.0 acres = 2.7 acres of Community Facilities acreage required.

Three of the Public Use Areas are considered Community Facility uses. These include PA P-1, P-2 and P-5. These three planning areas total 3.6 gross acres (2.7 net acres). Thus, the net acreage designated for Community Facility use is in compliance with the requirement of CMC 21.25.070.

The remaining two Public Use Areas provide other community benefits, including trailheads, drainage basins, and recreation areas.

Descriptions and Implementation of Master Plan Vision and Goals

1. **Planning Area P-1 – Parking (Community Facilities).** Planning Area P-1 (approximately 0.9 gross acres) and will be developed as a Community Facilities Park & Ride lot that will be available to serve all residents of the Quarry Creek Master Plan area. Pedestrian connections shall also be provided to link the surrounding neighborhoods to this site.

Planning Area P-1 provides parking for carpooling and bus stop and turn around area for mass transit purposes for the Quarry Creek project. This use is consistent with the concept of a sustainable community through locating this parking area adjacent to the dense multifamily homes. It will also encourage the use of carpooling, which will contribute to the reduction of vehicle trips, air pollution and greenhouse gases in the region. The Park & Ride lot may contain bike lockers for use by commuters.

The acreage associated with Planning Area P-1 shall qualify as community facilities acreage for purposes of compliance with CMC Chapter 21.25.

Allowed Uses P-1	<ul style="list-style-type: none"> • Parking lot for Park & Ride • Small, mobile service retail kiosks • Bicycle lockers
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2. **Planning Area P-2 - Community Facilities.** Planning Area P-2 (approximately 2.1 gross acres) shall be developed as a Community Facilities site, which will provide community-oriented uses, consistent with those allowed per CMC Chapter 21.25. Planning Area P-2 is intended as the main community node of the Quarry Creek project. The location of Planning Area P-2 is at the Marron Road extension entry to the Quarry Creek community. The community facilities designation shall be subject to the requirements and time frames stipulated in Chapter 21.25.030 of the Carlsbad Municipal Code.

No building in the C-F zone shall exceed a height of thirty-five feet and three levels if a minimum roof pitch of 3:12 is provided or twenty-four feet and two levels if a roof pitch less steep than 3:12 is provided. Architectural projections may be allowed pursuant to Section 21.46.020 of the Carlsbad Municipal Code. Development standards for this planning area shall be in accordance with the requirements of CMC Chapter 21.25.

Allowed Uses P-2	<ul style="list-style-type: none"> • Child daycare (Required Use) • Adult and/or Senior daycare • Church • Social club • Dog park • Skateboard park • Community garden
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3. **Planning Area P-3 – Community Recreation Area.** Planning Area P-3 is designated as a 1.3 acre planning area which will be developed with private community recreation facilities that will be made available to serve the residents of surrounding residential neighborhoods in Planning Areas R-3, R-4 and R-5. Pedestrian and bicycle connections shall also be provided to conveniently link these surrounding neighborhoods to the Planning Area P-3 community recreation site.

Planning Area P-3 shall provide up to 75 percent of the required active common recreation facilities requirement for residential planning areas R-3, R-4 and R-5. Each of these residential planning areas has an obligation to provide a minimum of 200 square feet of recreation area per unit, of which 75 percent shall be allocated for active facilities. The remaining 25 percent of the 200 square foot/unit obligation will be provided within the respective residential planning area. The resulting calculations of recreation area requirements are shown on Table L. The area of Planning Area P-3 may be adjusted depending upon the recreational area requirements of the actual number of units approved in Planning Areas R-3, R-4 and R-5..

Table L: Community Recreation Area Requirements

	Assumed Units	Max Total Rec. Area Requirement	Max Active Rec. Area (75%) Provided in PA P-3	Remaining Rec. Area Required within Planning Area (25%)
Planning Area R-3	81	16,200	12,150	4,050
Planning Area R-4	188	37,600	28,200	9,400
Planning Area R-5	56	11,200	8,400	2,800
TOTAL	325	65,000	48,750*	16,250

* 48,750 = 1.12 acres minimum requirement

Planning Area P-3 contains up to 1.3 net acres intended to accommodate the necessary 75% active recreation facilities for the residential Planning Areas R-3, R-4 and R-5. Planning Area P-3's central location to the homes in PA's R-3, R-4 and R-5, and its pedestrian and bicycle connections will provide linkage to the community recreation area via landscaped pedestrian paths and sidewalks.

In an effort to identify with the natural and cultural heritage of the property, the recreation area is designed to reflect the natural beauty of the Buena Vista Creek, including meandering walkways with boulder groupings, a dry creek bed and native plantings. The Planning Area P-3 design will include a swimming pool facility and may also include a lap pool, children's wading pool, and spa. Other features of PA P-3 are anticipated to include a recreation building with restrooms, BBQ counters and shaded seating areas. The site will also include a children's play area with a play structure, picnic tables and benches. This information is shown on *Figure 22; Planning Area P-3 Preliminary Design*.

4. Planning Area P-4 – Trail Stop and View/Gathering Area/Water Quality Treatment and Hydromodification Basin. Planning Area P-4 is approximately 3.3 acres and will contain minimal passive recreation improvements as a Water quality, treatment/hydromodification/detention basin, trail and wetland viewing area located adjacent to the Street 'A'. It will be accessed only via pedestrian trail from the adjacent local street and via a connecting trail from the east and west. This planning area provides a broad pedestrian overlook of the preserved wetland environment of the Buena Vista Creek valley. Identification and informational signage will be located along the paths, presenting aspects of the cultural history of the area.

Planning Area P-4 contributes to the pedestrian accessibility in the Quarry Creek project. It provides an overview of the Buena Vista Creek wetlands and the Quarry Creek pond.

Allowed Uses P-4	<ul style="list-style-type: none"> • Public trails • Trailhead, Vista point • Fencing • Benches and interpretive kiosk • Water quality treatment/hydromodification/detention basin (shall be designed to appear as a passive recreational area)
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5. **Planning Area P-5 – Public Trailhead (Community Facility).** Planning Area P-5 is a public trailhead and nature overlook (approximately 0.6 acres) that will contain minimal passive improvements. It will be accessed only via vehicular and pedestrian trail through Planning Area R-5. In the future, this site could serve as a trailhead for a future trail pedestrian/bicycle connection through the Buena Vista Ecological Preserve to the north of the planning area.

Allowed Uses P-5	<ul style="list-style-type: none"> • Public trails • Trailhead • Fencing • Benches and interpretive kiosk • Water quality treatment/detention basin
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Land Use Regulations

- General Plan Land Use Designation: OS (Open Space)
- Underlying Zone Designation: OS (Open Space) or CF (Community Facilities).
- The permitted uses shall be those specified in Chapter 21.25 (Community Facilities) and Chapter 21.33 (Open Space) of the Carlsbad Municipal Code. The exact uses to be provided shall be determined as part of the Site Development Plan approval for the project.

Required Development Permits

- A Site Development Plan (SDP) for Planning Areas P-2 and P-3 shall be processed for approval prior to construction of improvements in these planning areas.
- An administrative SDP permit shall be processed for Planning Areas P-1 and P-5 prior to construction of improvements in these planning areas.

Special Design Criteria – All Public Use Areas

1. Site planning for these areas shall minimize, to the greatest extent possible, light and noise impacts to proposed adjacent residences and open spaces.
2. Building structures and facilities shall be architecturally integrated with the overall architectural design themes for the Quarry Creek Master Plan and shall be oriented and related to a pedestrian scale.

3. Screening walls for storage spaces and equipment areas shall be architecturally integrated with the surrounding buildings and design. Trash receptacles and a plan for management of such facilities shall be provided.
4. Structure placement shall be designed to create opportunities for plazas and other landscaped open space areas within the Planning Area.
5. Pedestrian access to each of these planning areas shall be provided from adjacent planning areas.
6. Bike racks shall be provided in Planning Areas P-1, P-2, P-3 and P-5 to encourage alternative means of transportation.
7. Landscaping for these areas shall avoid the use of invasive plants.
8. Grading and landscape plans for Planning Areas P-1, P-2, P-3, PA-4 and PA-5 shall be subject to review by the Carlsbad Planning Department.
9. All Public Use planning area shall be posted with usage restrictions.
10. In Planning Area P-1, the Park & Ride lot shall comply with all applicable regulations and development standards of the Carlsbad Municipal Code except as modified by the Quarry Creek Master Plan. Accessory uses (such as a mobile coffee kiosk) solely for the convenience of patrons of the Park & Ride lot are also allowed.
11. Project entry monumentation may be provided in PA P-2 and P-3.
12. Planning Areas P-1 shall be developed concurrently with the construction of Planning Area R-1 and/or R-2. Planning Areas P-3 and P-4 shall be constructed concurrently with the first phase of development of Planning Areas R-3, R-4 or R-5. Planning Area P-4 shall be developed concurrently with Street 'A', Planning Area R-3 or R-4. Planning Area P-5 shall be developed concurrently with Planning Area R-5.
13. The access to the BVCER will not allow motorized vehicles.

LEGEND

- QUARRY CREEK PROPERTY BOUNDARY LINE
- PUBLIC USE AREAS
- LIMITS OF HMP HARDLINE MAP BOUNDARY
- BRUSH MANAGEMENT PER HMP HARDLINE

PUBLIC USE		
PA	LAND USE	GROSS ACREAGE
P-1	COMMUNITY FACILITIES	0.9
P-2	COMMUNITY FACILITY SITE	2.1
P-3	COMMUNITY RECREATION AREA	1.3
P-4	TRAIL, VIEW AREA, WATER QUALITY BASIN	3.3
P-5	COMMUNITY FACILITIES	0.6
TOTAL:		8.2

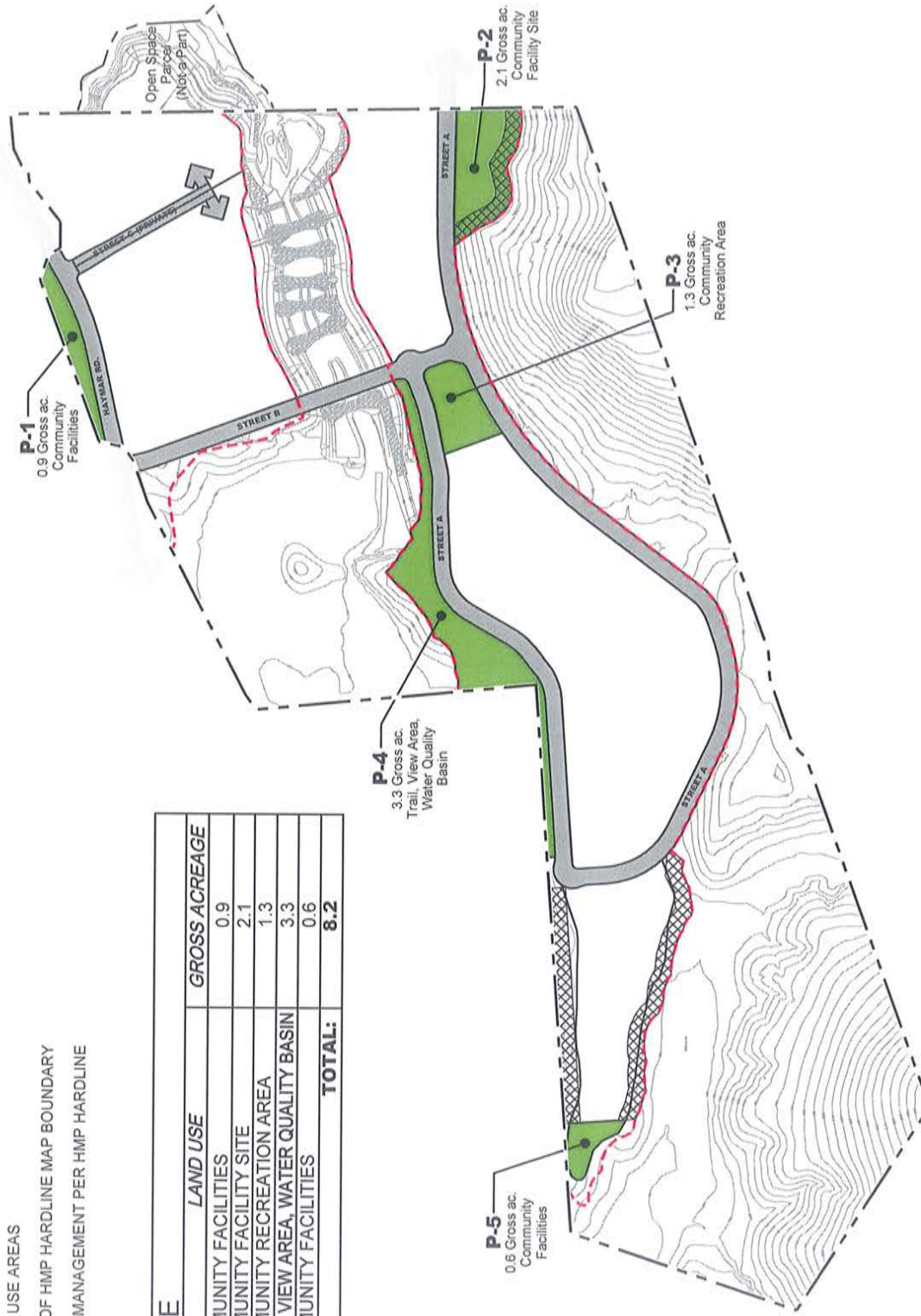


FIGURE 21

Quarry Creek

Master Plan

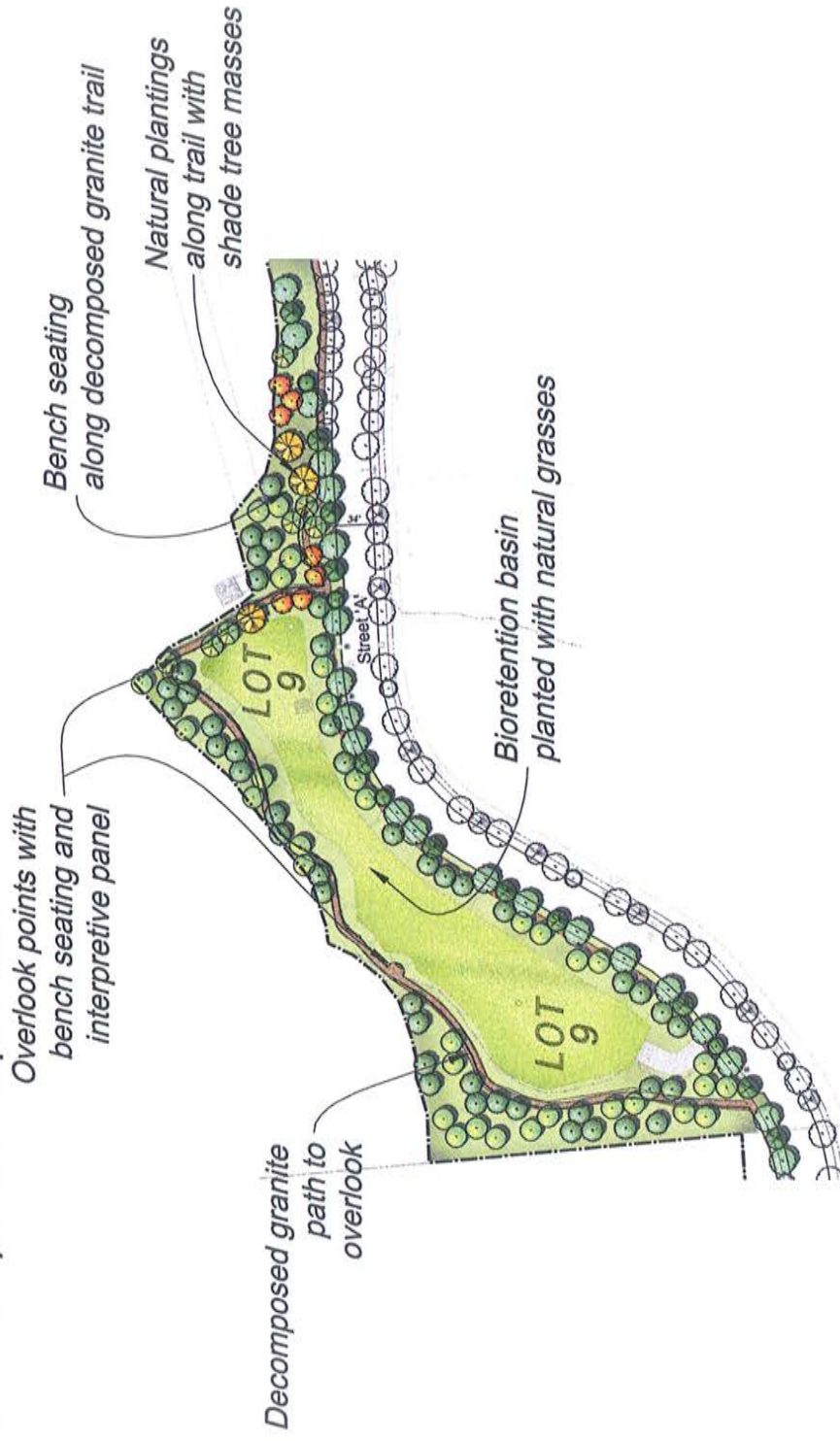
PLANNING AREAS P-1 THROUGH P-5

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FIGURE 22

Landscape Concept Plan



NOT TO SCALE

FIGURE 23

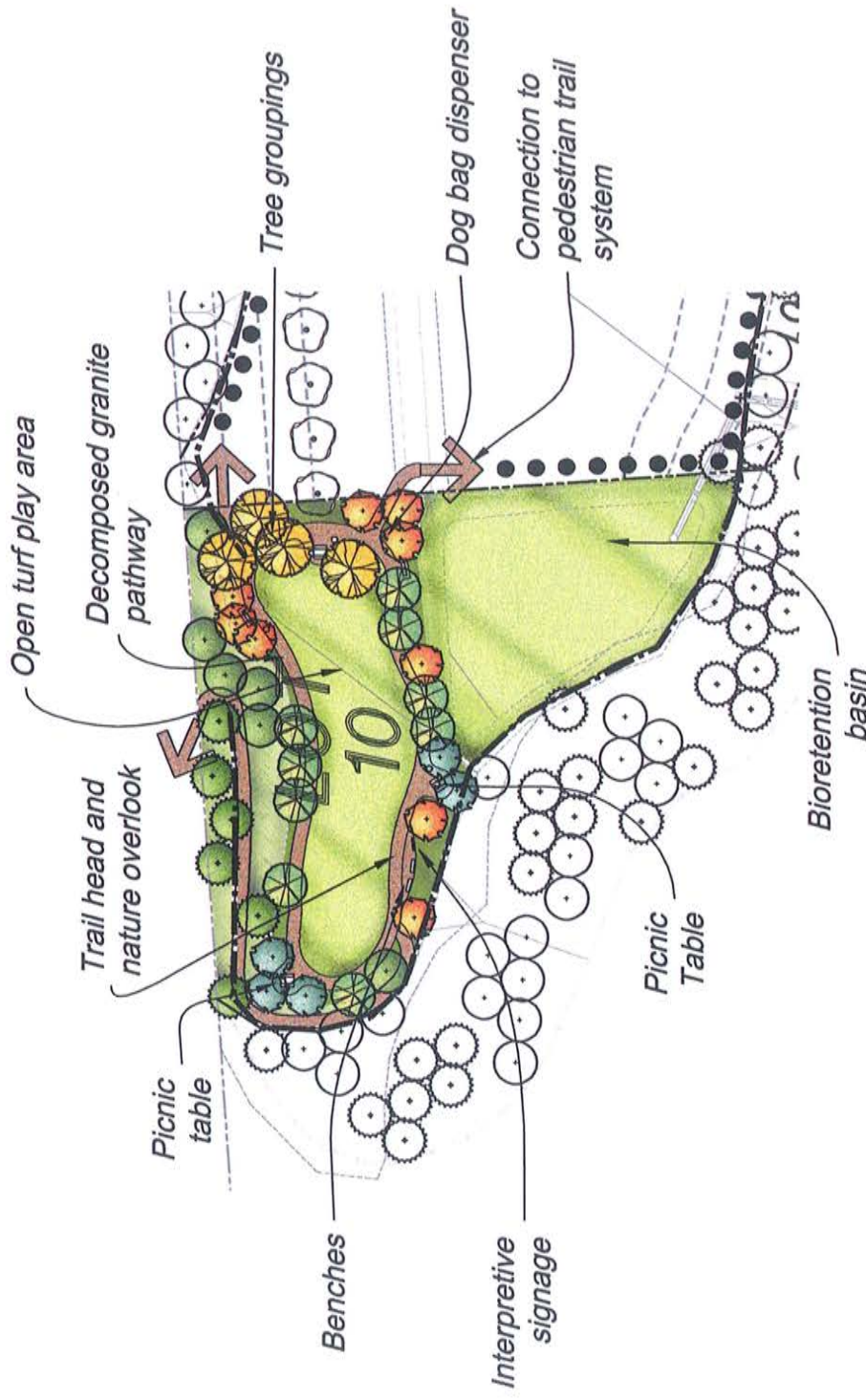
Quarry Creek

PLANNING AREA P-4

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Master Plan

Landscape Concept Plan



NOT TO SCALE

FIGURE 24

Quarry Creek

PLANNING AREA P-5

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Master Plan

4.3 Open Space Planning Areas

4.3.1 Planning Areas OS-1 thru OS-3 – Open Space – Site Zoning Regulations and Criteria (See Figure 23, *Planning Areas OS-1 thru OS-3*)

Description

A total of approximately 87.9 acres in three separate locations are designated as open space within Planning Areas OS-1 thru OS-4 which preserve the hardline open space within the Quarry Creek project.

Implementation of Master Plan Vision and Goals

The Quarry Creek Open Space Planning Areas OS-1, most of OS-2 and OS-3 shall constitute a habitat preserve. This preserve is being conserved in accordance with the requirements of the Carlsbad HMP, as per the requirements of the City of Carlsbad, the USFWS and the CDFG. As directed by the HMP, the primary goal of this habitat conservation is to preserve these open space areas in perpetuity and increase the protection of biological resources within the native vegetation communities found on-site, including; freshwater marsh, southern willow scrub, southern mixed chaparral, Diegan coastal sage scrub, baccharis scrub, and native grasslands. In addition, significant areas of native habitat restoration are included in the plan. Those areas to be restored with native habitats are included and managed as habitat in the preserves. All fuel modification zones are kept outside of the preserve hardline; however these fuel modification zones are identified in this Master Plan as open space land use. As a result, the HMP hardline and the open space planning area boundaries are not fully coterminous.

The open space provided by the Quarry Creek Master Plan exceeds the wildlife corridor envisioned by the City of Carlsbad adopted Habitat Management Plan (HMP). The project applicant is applying for an Equivalency Determination with the City of Carlsbad in order to document approval of the new hardline alignment. The City will consult with the Wildlife Agencies on this determination, consistent with HMP guidelines.

Within portions of the open space areas, a trail system (illustrated in Chapter 6 of this master plan) links the open space with the residential, commercial, and recreational components of the community, and also with offsite destinations including the Quarry Creek Shopping Center, the Simsbury connection to neighborhoods to the south, and BVCER. The trail system accommodates pedestrians and bicyclists. However, access to the natural open space areas shall be restricted through trail design and fencing along Buena Vista Creek. The trail system includes decomposed granite trails located adjacent to the preserved open space along the edge of perimeter roads which will allow for future connections with adjacent off-site trails, as indicated in the City's Master trails plan. Where trails are adjacent to these open space areas, non-combustible fencing will be used. Fencing types for use on project trails are illustrated in Chapter 6 of this master plan.

Planning Area OS-1 conserves the high steep slopes at the south side of the historical mining operation, and the valley and steep natural slopes on the south half of the Panhandle parcel. PA OS-2 conserves the Buena Vista Creek and its associated wetlands around its broad bend on the northwestern quarter of the Reclamation Parcel. PA OS-3 conserves the El Salto Falls and the restored Buena Vista Creek channel and environmental buffer. The creek channel and environmental buffer will be restored by others and the project. OS-4 provides open space land use protection over the north-facing fire suppression slope north of Planning Area R-5.

ENVIRONMENTAL BUFFFER:

A 100-foot biological buffer has been provided on each side of Buena Vista Creek at Planning Area OS-3. This biological buffer has been planted with revegetated native upland DCSS habitat. No other uses are allowed within the biological buffer except for; (a) one vehicular bridge crossing for a public street, (b) underground utilities, and (c) grading which will be revegetated with native habitats. This buffer and HMP hardline, and conservation easement have been established pursuant to the requirements of the Amended Reclamation Plan for Former South Coast Materials Quarry.

This Plan also provides for a road and utility bridge crossing of the Creek channel of OS-3 and a public trail system and other uses within the OS-3 creek channel planning buffer. These areas are shown on *Figure 24; Planning Area OS-3 Concept Plan*.

Efforts to obscure the visual impact of the existing retaining crib wall adjacent to the Quarry Creek Shopping Center in PA OS-3 shall be mitigated in conjunction with development of Quarry Creek. The plan to mitigate these impacts is shown on Figure 41 in Chapter 6 of this Master Plan.

Land Use Regulations

- General Plan Land Use Designation: OS (Open Space)
- Underlying Zone Designation OS (Open Space)
- Allowed uses:
 - Natural and Re-vegetated Open Space
 - Grading and native restoration
 - Underground utilities
 - Trails and maintenance roads (OS-2 contains a sewer maintenance road)
 - Allowed uses within the environmental buffer as indicated in buffer description above.

Special Design Criteria

1. Disturbance into these Planning Areas arising from construction activities required to support development of adjacent Planning Areas shall be avoided to the maximum extent possible during and after construction. Disturbances associated with allowed uses as indicated above are permitted. Grading is allowed within the limits of disturbance area shown on the hardline map but all graded areas within the hardline will be revegetated with native habitat.

2. Restoration plans for Open Space Areas within the HMP Hardline shall be subject to review by the appropriate wildlife agencies.
3. The property within Planning Areas OS-1, OS-2 and OS-3 which is located within the HMP hardline shall be the subject of a conservation easement unless one already exists. This conservation easement will be recorded over the property to ensure long-term management by a conservancy manager, and shall ensure preservation of the property in a "natural condition", including third-party right of enforcement by the City, or their delegate.
4. The transfer of management of the area subject to the conservation easement may occur in phases. While the open spaces are in continued private ownership, prior to transfer of the management rights described above, the existing owner shall manage the lands to protect and preserve the biological quality of the habitat. These interim management activities shall include, at a minimum, trash removal and reasonable prevention of trespass.
5. The conservation manager will be required to obtain all necessary city, state and federal survey permits that may be required authorizing the managing entity to manage state and federally listed plant and animal species.
6. The developer or the conservation manager shall install signage in high visibility areas around the perimeter of the Preserve area to discourage trespass. Authorized entry only signs will be placed on the fence at locations where unauthorized entry is most likely.
7. Trespassing into the Preserve will be controlled by fencing to physically limit access, and through educational outreach to encourage the public to respect the boundaries of the open space. Fences located at the interface between the residential development and the preserve will be erected if deemed necessary by the developers of the adjacent planning areas.
8. Trails are allowed in locations as shown on the Trails Plan. Each trail is identified in locations which are already disturbed, typically unofficial off-road vehicle routes. Minor improvements will be made to these trails so that they comply with City trail standards. The trail system is designed to tie into the proposed Citywide Trails Systems to be operated throughout the City. The trails within the Preserve will be maintained by the City of Carlsbad and/or the conservancy manager.
9. All areas adjacent to open space planning areas or conserved lands shall include design criteria requiring non-reflective windows. Also, lighting shall be shielded and directed away from the open space, and landscaping shall be native or non-invasive exotic species.

LEGEND

-  QUARRY CREEK PROPERTY BOUNDARY LINE
-  OPEN SPACE AREAS
-  LIMITS OF HMP HARDLINE MAP BOUNDARY
-  BRUSH MANAGEMENT PER HMP HARDLINE

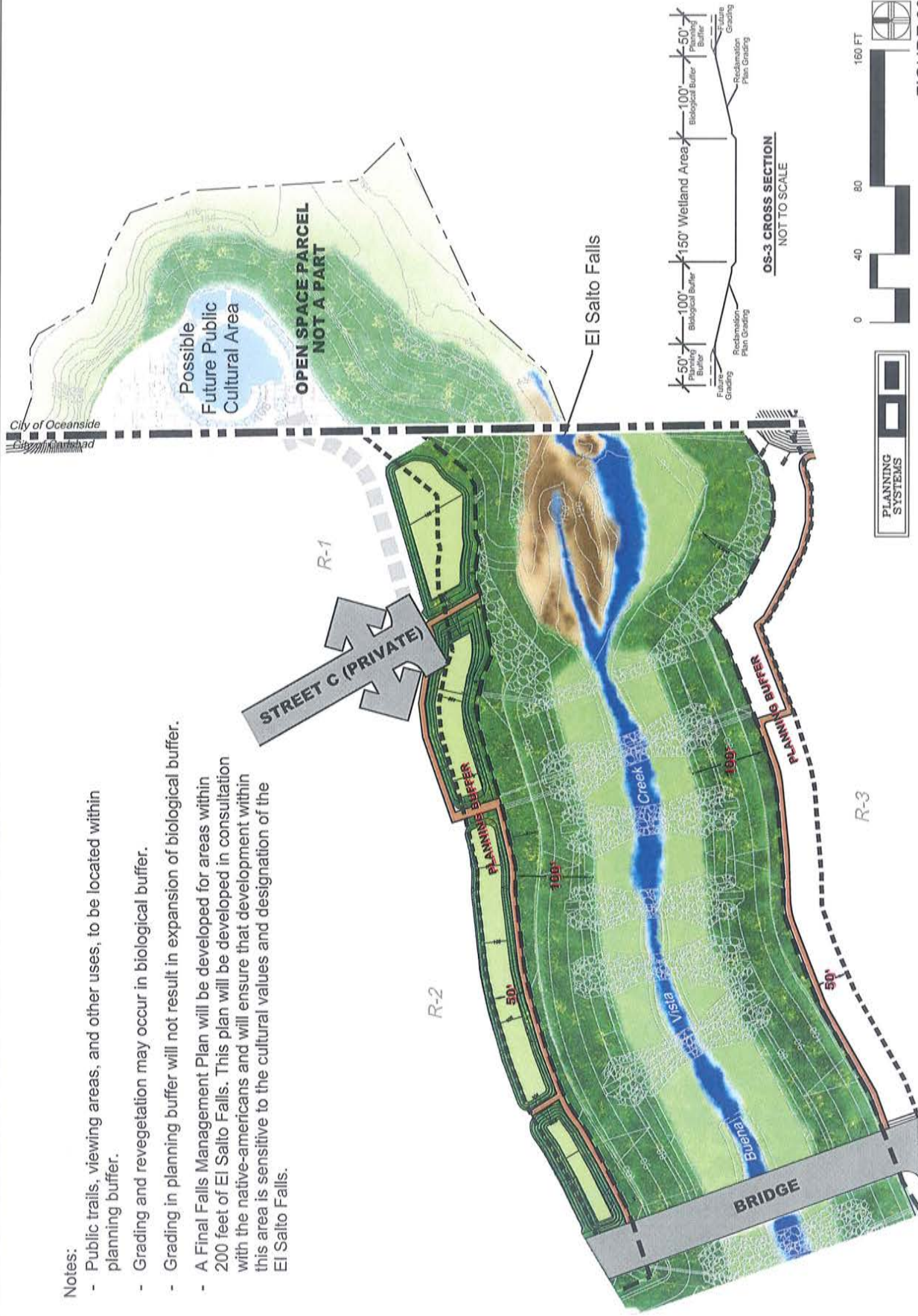
PUBLIC USE		
PA	LAND USE	GROSS ACREAGE
OS-1	Southerly Open Space Corridor Preserve	57.9
OS-2	Wetland Preserve	20.1
OS-3	Buena Vista Creek and Buffer	8.4
OS-4	Open Space	1.5
TOTAL:		87.9



FIGURE 25

Notes:

- Public trails, viewing areas, and other uses, to be located within planning buffer.
- Grading and revegetation may occur in biological buffer.
- Grading in planning buffer will not result in expansion of biological buffer.
- A Final Falls Management Plan will be developed for areas within 200 feet of El Salto Falls. This plan will be developed in consultation with the native-americans and will ensure that development within this area is sensitive to the cultural values and designation of the El Salto Falls.



Quarry Creek

Master Plan

PLANNING AREA OS-3 CONCEPTUAL SITE LAYOUT

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FIGURE 26

5 GENERAL PROVISIONS

This Chapter 5 of the Quarry Creek Master Plan articulates a list of general growth, planning and environmental policy provisions that development of the Quarry Creek project must comply with.

5.1 Growth Management

The Quarry Creek Master Plan shall comply with all provisions of the Carlsbad Municipal Code, Section 21.90 (Growth Management Program). The Master Plan developer or the developer of any portion of the Master Plan, by pulling building permits pursuant to the Master Plan and the Local Facilities Management Plan (LFMP) and the Finance Plan, agrees that all of the dedication and other public facility requirements imposed as a condition of the Zone 25 LFMP and the Finance Plan, are reasonably necessary to serve the needs of the development for which the building permits are required.

The Growth Management Ordinance provides “Growth Management Control Points” which determine the maximum number of dwelling units permitted for a given area. Pursuant to the LFMP for Zone 25 and the Growth Management Ordinance, a constraints analysis was performed for the Quarry Creek Master Plan which determined that, based on the Growth Control Points for LFMP Zone 25 and the amount of unconstrained lands on-site, the maximum number of units permitted within the Master Plan is 293 (Quarry Creek property only). However, this Master Plan caps the maximum number of units in the project at 656 dwelling units. The 656 unit count is 363 units greater than the number allowed (293 du) per the constraints analysis based on the existing Land Use Map.

As mentioned, this Land Use Element Map is not consistent with the Housing Element. Therefore an amendment to the Land Use Element is proposed with this Master Plan to provide consistency with the Housing Element and the HMP, and to accommodate the community described in this Master Plan. As discussed in Chapter 2 of this Master Plan, the Carlsbad City Council has approved an updated Housing Element to the Carlsbad General Plan which directed that land uses on the Reclamation Parcel of Quarry Creek be changed to redesignate a minimum net acreage to accommodate at least 300 high density (≥ 20 du/ac) and 200 medium-high density (≥ 12 du/ac) housing units on the Quarry Creek Reclamation Parcel site. This action was followed-up by a redistribution of an additional 6 unit transfer from other property in Carlsbad to supplement the high density units. Thus, existing adopted City housing policy for the Quarry Creek Reclamation parcel stipulates construction of a minimum of 506 residential units, although the exact location of these units on the Reclamation Parcel must be identified through a amendment to the Land Use Element and [more specifically] through approval of this Master Plan. Although the Housing Element adopted this allocation of 506 units, the amendment to the Land Use Map (for General Plan

consistency) has not yet been completed, and is thus proposed with this Master Plan package. Although the Housing Element changes did not affect the Panhandle parcel, a Constraints Analysis of the Panhandle parcel (which is designated with low-medium density residential land use) allows for 71 Residential Low-Medium (RLM) units. Therefore, in consideration of the 293 units originally allocated to the property, and the 577 units ($506 + 71 = 577$) allocated to the property through the Housing Element Amendment, the overall Housing Element allocation totals 577 units. When the Housing Element land uses are laid over the property pursuant to a constraints analysis (constrained areas are removed from acreage density calculations), the overall allowed total on the property totals 788 units.

Nonetheless, the Carlsbad Growth Management Ordinance was based on the pre-Housing Element modification, and therefore, in order to comply with the Growth Management Ordinance, the proposed project will necessitate withdrawal of 363 available units from the Carlsbad EDUB ($656 - 293 = 363$). Also as demonstrated in Chapter 2, 284 of these units have been allocated from the Carlsbad EDUB as a result of the City Council's approval of the Housing Element modifications. It will be necessary to withdraw an additional 79 units from the bank to accommodate the development contemplated in this Master Plan. In total, the 656 units proposed in this Master Plan will require the withdrawal of 363 units from the City of Carlsbad's EDUB.

5.2 Maximum Number of Dwelling Units

Applications for development permits (site plan review) shall be analyzed for compliance with this Master Plan. As discussed above, this master plan caps the number of dwelling units permitted within the Quarry Creek property at 656 units. These residential uses shall be distributed within the Master Plan area generally as shown in Table I, *Master Land Use Table*. An allowance for density transfers and alternative uses is provided in Section 5.3 of this Master Plan.

5.3 Transfer of Density

This Master Plan provides for the ability to transfer residential units (density) between planning areas within Quarry Creek to allow flexibility in response to changing market trends and to accommodate actual unit yields based on more detailed site planning of the planning areas. Table I in Chapter 3 assigns an assumed number of units to each planning area. Taken together, this assumed development intensity represents an assumed development scenario which might be expected for Quarry Creek without exceeding the 656 units allowed. Depending upon the actual land uses and intensity selected with each development action, slightly more or less units than the Assumed Master Plan counts may actually be approved through site development plan review. Such transfers would be discretionary, and would only be approved at the time of site plan review, and only upon the ability of the City of Carlsbad to make all of the following findings:

1. The transferred units do not exceed 10% for both the donor and the receptor planning area.
2. The transfer will result in continued compliance with the adopted Housing Element of the General Plan.
3. The transfer will continue to meet the objectives of this Master Plan.

If a site development plan application results in a lower number of units than the Assumed DU on Table I, then the balance units may be transferred to another residential planning area as a receptor planning area. If no other planning area is identified at the time of transfer, the surplus units will be placed in a "Quarry Creek Dwelling Unit Bank" for future allocation as determined by the City. The overall number of residential units at buildout of Quarry Creek shall not exceed 656 units. City Staff shall review and approve such density transfers only upon receipt of a letter articulating such request to the City identifying the transfer "donor" and transfer "receptor" sites. The City shall allow such transfers only if a sufficient number of units are available in the project to make up the difference in the unit total between what is proposed and what is permitted. Such transfer must be otherwise consistent with this Master Plan. Any development proposed that is not in compliance with this section shall necessitate a Master Plan Amendment. Density transfers may take place as part of the development plan review for a project and are not a separate process.

5.3.1 Development Proposed at Less than Assumed Units

If a development is proposed for a Planning Area which results in less than the unit count identified for that Planning Area in Column G on Table I, then the unused development intensity shall be transferred to an identified receptor site.

5.3.2 Development Proposed at Greater than Assumed Units

If a development is proposed for a Planning Area which is projected at greater than the Assumed Units per Master Plan identified for that Planning Area in Table I, then the units associated with the additional development intensity may be allocated out of the donor planning area. This transfer may occur only if a sufficient number of units are available and the receptor site otherwise qualifies pursuant to this chapter.

Any such density transfer under the above situations must leave the donor Planning Area with sufficient units or development intensity to allow the donor Planning Area to develop at least the minimum density as required by the Housing Element.

5.4 Recordation

Notice of the approval of the Quarry Creek Master Plan by the City Council of the City of Carlsbad shall be recorded with the County of San Diego Records Office.

5.5 Non-Vesting of Rights

Master development plans shall be evaluated in accordance with Municipal Ordinances and Policies in force at the time said plans are before the Planning Commission and the City Council for approval. Pursuant to Section 21.38.030(d), where a conflict in development standards or regulation occurs, the provisions of this Master Plan shall take precedence. With the exception of the rights inherent in an approved Vesting Tentative Map or an approved Development Agreement, approval and construction of a part of the development pursuant to this Master Plan shall not vest any rights in the balance of the Master Plan nor create any vested rights for the approval of any subsequent developments.

5.6 Mitigation Monitoring

All mitigation measures specified in the Quarry Creek Master Plan EIR and in the approving resolutions shall be complied with in their entirety at the appropriate time of implementation. A mitigation monitoring program shall be included as an attachment to the resolution certifying the Quarry Creek Master Plan EIR.

5.7 Dedications

All land/or easements required by ordinance for this Master Plan for public streets, open space, recreational purposes and public facility purposes shall be granted to the City of Carlsbad without cost to the City and free of all liens and encumbrances, subject to the limits set forth in State Law. Except that land dedicated for public parks in excess of the parkland dedication requirement may require fair market compensation by public agencies, or as specified in a Parkland Dedication Agreement.

5.8 Availability of Public Services

Approval of this plan does not constitute any guarantee that individual developments within the Master Plan area will be approved nor that the availability of public facilities and services will necessarily coincide with the developer's timetable for construction. Availability of public services will be evaluated in the context of subsequent individual approvals.

5.9 Severability

In the event that a court of competent jurisdiction holds any regulation, condition program, or portion of this Master Plan invalid or unconstitutional, such provisions and the invalidity of such provisions shall not affect the validity of the remaining provisions.

5.10 Hillside Development Requirements

All development within the Quarry Creek Master Plan shall comply with the grading standards contained within the City's Hillside Development Regulations (Chapter 21.95 of the Carlsbad Municipal Code).

5.10.1 Background

Development of the Quarry Creek project will result in grading of the vast majority of the area historically impacted by mining operations. In addition, this Master Plan allows for grading of some non-constrained hillsides and ridges in the southwestern portion of the quarry property and the panhandle which were not the subject of mining operations. These areas include some natural steep slopes with a gradient of at least 15%, and elevation differential of 15 feet, and thus are subject to the Hillside Development Regulations. The purpose of the Hillside Development Regulations is to preserve and/or enhance the aesthetic qualities of natural hillsides by minimizing grading and incorporating contour grading, and to assure that alteration of natural hillsides would be done in an environmentally sensitive

manner. The grading in the referenced southwest and panhandle portions of the site would involve primarily daylight cut excavation and embankment, removing soil from the westerly ridge areas, including some isolated areas of natural slopes in excess of 40% gradient. The grading of these ridges are necessary to develop the property consistent with the General Plan and the HMP Hardline policies for these areas. In addition, much of the soil to be excavated is necessary to fill the buildable, reclaimed areas of the property.

5.10.2 Hillside Development Permits Required

At the time of site development permit review for all residential areas within the Master Plan, the grading design will be addressed for compliance with Chapter 21.95. This review will consider the following aspects:

1. All undevelopable areas of the project, pursuant to Section 21.53.230(b) of the Carlsbad Municipal Code have been properly identified and satisfactorily conserved or avoided pursuant to this Master Plan.
2. Development proposals found consistent with this Master Plan complies with the purpose and intent provisions of Section 21.95.010 of the Carlsbad Municipal Code.
3. Development proposals found consistent with this Master Plan conforms to the Hillside Development Guidelines Manual.
4. Development proposals found consistent with this Master Plan will involve construction of a collector street which has been found to be located in the environmentally preferred alignment.
5. Grading volumes, slope heights and graded areas of development proposals found consistent with this Master Plan will involve development which is directly associated with construction of a collector street which has been found to be the environmentally preferred alignment.

5.11 Location of Improvements

The location of street, utilities, and other land use related improvements should be considered conceptual and approximate on all maps contained within this Master Plan document. The precise location of all improvements will be established through the approval of the Tentative and Final Subdivision Map and/or Site Development Plans required for the referenced planning areas. These precise locations shall be consistent with the generalized locations shown on the exhibits in this Master Plan.

5.12 Landscaping

A conceptual or preliminary landscape and irrigation plan shall be approved with the Tentative Tract Map. A Final Landscape Plan shall be approved by the Planning Director prior to approval of the final map, or the issuance of grading or building permits for each Planning Area, whichever occurs first. The detailed landscape plans shall be consistent with the Final Map, the grading permit, and the landscape concept plan approved in conjunction with the Planning Area discretionary approval.

5.13 Noise

A noise analysis shall be conducted with the CEQA review for the Quarry Creek Master Plan. This analysis shall determine the need for noise barriers for future development of the planning areas adjacent to Highway 78 per the requirement of the Carlsbad Noise Policy, Planning Department Policy No. 17. All future residential units subject to the policy shall be buffered from noise per the requirements of this policy, the recommendations of the noise study prepared in conjunction with the EIR.

5.14 Homeowners' Association

The developer of Quarry Creek shall establish a Master Homeowners' Association (Master HOA) and corresponding covenants, conditions and restrictions (CC&Rs) for the residential areas of the project.

5.14.1 Master Homeowners' Association

A Master HOA CC&Rs shall be submitted to and approved by the Planning Director prior to approval for the first final map for any residential area within the Quarry Creek Master Plan project. Prior to the first certificate of occupancy, the State will require establishment of the Master Homeowners' Association. The Master HOA shall have the authority to implement the Master CC&Rs. These CC&Rs shall control the private uses, design maintenance and development standards for the areas common to the community.

The Master CC&Rs shall state expressly that the property is subject to the provisions of the Master Plan. It shall also indicate that the City shall have the right but not the obligation to enforce the provisions of this Master Plan through normal, enforcement procedures if the City Council determines such enforcement is necessary to protect the public welfare and may assess homeowners for the costs incurred therein. The Master CC&Rs shall prohibit the long-term storage or parking of recreational vehicles within the project area.

The Master HOA or Sub-Association(s) shall control the operation and maintenance of the entry features, common slopes, arterial parkways, private storm drain pipes, levees, structures and discharge structures, and other common features identified in the Master Plan. The Master HOA shall also be responsible for the maintenance of the public use areas, the open space and trail system, except as may be maintained by the conservancy manager or the City. Fire suppression zones within open spaces shall be located within separate Master HOA or Sub-Association maintained open space easements or lots. Any fire suppression zones provided on the site in order to accommodate adjacent existing development will be maintained by the HOA for those adjacent developments.

5.14.2 Homeowners' Sub-Associations

In addition to being members of the Master HOA, all residentially developed properties within the Master Plan boundaries that include attached multifamily units/condominiums may be members of a Homeowners' Sub-Association and subject to CC&Rs for the Sub-Homeowners' Association.

Said CC&Rs shall be submitted to and approved by the Planning Director prior to Final Map approval of the respective planning area. The sub-area homeowners' association shall be responsible for the maintenance of common facilities only within the limits of this residential condominium project. Apartment projects will be managed by the project owner and do not require a sub-HOA and need not be covered by the Master CC&Rs.

5.14.3 General Provisions Applicable to All Associations

(1) CC&R's. The master developer of the residential planning areas shall provide the Carlsbad Planning Department with a recorded copy of the official CC&R's that have been approved by the Department of Real Estate prior to the issuance of the first Certificate of Occupancy within the affected planning area. This requirement shall not apply to models occupied as sales offices and model homes.

(2) Architectural Review Board. The Master HOA shall establish an Architectural Review board. Sub-Associations may also establish Architectural Review Boards. Each Architectural Review Board shall be responsible for the review and approval of all room additions, patio covers, decks, patios and other structures prior to the issuance of a building permit issued by the City of Carlsbad, if needed, with appropriate exceptions for the developer and master developer. The appeal process for Architectural Review Board decisions shall be described in the Master CC&R's.

6 DESIGN PROVISIONS AND GUIDELINES

In order to maintain a consistent theme and to maintain high environmental standards, all development proposed for projects within the Quarry Creek Master Plan area is subject to a number of regulatory provisions and guidelines. These provisions and guidelines are intended to instruct developers, builders, engineers, architects, landscape architects and other professionals in order to maintain the desired characteristics established by this Master Plan. They will further create a viable and attractive community with an attractive circulation network accessible to vehicles, bicycles and pedestrians which connect the various neighborhoods, and the surrounding commercial area. These guidelines are intended to accommodate flexibility for innovative and creative design solutions that respond to contemporary market trends throughout the lifetime of Quarry Creek. Thus, these standards are considered “community-wide” standards and guidelines, as follows:

6.1 Energy Efficiency and Sustainability

Energy conservation features for building siting in order to reduce the demand for energy and indoor water will be required in the Quarry Creek project. Among the design and material requirements for development within the Master Plan area are the following:

- Energy Efficient Appliances. New residences in the project will be equipped with new appliances which are significantly more energy efficient than earlier models. According to the U.S. Department of Energy, new appliances included in new homes such as ranges, ovens and dishwasher save 30 to 50% of the energy compared to appliances manufactured 20 years ago. Builders should specify and install energy efficient compact fluorescent fixtures in order to reduce energy use associated with outdoor area lighting. Energy Star appliances will be encouraged. Residences in Quarry Creek will require significantly less energy than those in older areas of the region due to increased building and appliance energy efficiency. The selection of energy efficient and water conserving appliances by the residential builders is encouraged. The use of such appliances will reduce the energy and water consumption associated with the community.
- Energy Management. The use of passive solar design in the architecture of the project will be strongly encouraged. This will reduce cooling costs and energy use. Installation of additional insulation during construction will reduce heating costs and energy demand. Solar panel heating for water is cost effective and represents a significant energy savings. The site’s solar exposure provides a unique opportunity to passively light indoor spaces through the liberal use of window glazing along the southern facades of buildings. In order to reduce energy use for heating and air conditioning of structures, residential buildings will include operable windows oriented to take advantage of the prevailing

westerly winds to naturally ventilate indoor spaces. Site planning shall also include careful selection of vertical landscape elements such as trees, large shrubs and climbing vines to shade southern and western building facades to reduce air conditioning in summer and increase solar heat preservation in winter months.

- Construction Material Management. In an effort to reduce the demand for raw materials required for building construction, the use of recycled-content, salvaged, refurbished, reusable, durable and rapidly-renewable materials will be encouraged for building and landscape construction. Materials with low occurrence of toxic or volatile organic compounds will be preferred for building and landscape construction in order to maintain healthy living arid community spaces. The use and disposal of construction materials waste accounts for a large portion of the built environment's ecological footprint. The waste stream leaving the site will be managed through the development of recycling, composting and material re-use programs.
- Solar Electricity Generation and Heating. The project will be designed with solar heating for the common pools and spa use. The use of solar hot water panels to reduce the energy demand associated with residential hot water production is also strongly encouraged. Photovoltaic panels should be installed to provide electricity for common-area facilities such as club houses and lighting. It is expected that excess electricity produced by the panels will be sold back to the SDG&E to reduce HOA common-area operating costs. Reflective roof materials will be preferred in order to reflect, rather than absorb, solar heat energy, which will result in a reduction in the "heat island effect" from the project.
- Recycled Water for Common Landscaping. The project will utilize recycled water for irrigation of the majority of the common areas.
- Landscaping Efficiency. This Master Plan is consistent with the City of Carlsbad Landscape Design Manual. As indicated in the Landscape Design section of this master plan, common area landscaping will be designed using drought tolerant plantings. Evapotranspiration controllers will be utilized in large landscape areas.
- Water Conservation. Hot water pipe insulation, separation of hot and cold water pipes (the estimated water savings is 2,400 gallons per residential unit per year), water pressure reducing valves (installation of a pressure-reducing valve at the water service connection can maintain the pressure below 60 psi, reducing the potential for leakage and prevent excessive flow is estimated to save an estimated 1,800 gallons per residential unit per year), water efficient dishwashers in kitchens (dishwashers with water saving features such as water level sensors is estimated to save 650 gallons per unit per year) and dual flush toilets (dual flush toilets provide the option to flush with a partial (0.8 gallon) flow of water or with a full (1.6 gallon) flow depending upon need, are encouraged. The estimated water savings from a dual flush toilet is 4,000 gallons per residential unit annually, will all be used by builders to the degree feasible.
- Common Area Recycling Efforts. An overall recycling waste program will be developed in accordance with City guidelines, and additional educational programs will be instituted by the HOA to promote the benefits of recycling and re-usable energy within the Quarry Creek project. Recycling waste enclosures adjacent to all solid waste dumpsters will be provided. Recycle bins for newspaper, mixed paper and bottles and

cans shall be provided throughout the project.

- Public Area Lighting. Lighting for public areas such as streets, recreation areas and other public spaces will utilize energy efficient fixtures, consistent with City standards and requirements.

6.2 Grading Guidelines

All grading which will result from development proposed by this Quarry Creek Master Plan shall conform to the following City of Carlsbad ordinances, policies, and/or guidelines:

- Excavation and Grading Ordinance (Chapter 15.06, Carlsbad Municipal Code);
- Hillside Development Regulations (Chapter 21.95, Carlsbad Municipal Code);
- City of Carlsbad Hillside Development and Design Guidelines;
- City of Carlsbad Landscape Manual;
- City of Carlsbad Master Drainage Plan.

Grading, blasting and rock crushing are anticipated as part of the construction operation. Best Management Practices will be employed during construction to control sediment and protect slopes from erosion to prevent these materials from polluting waterways. All disturbed areas and slopes will be revegetated pursuant to the Carlsbad Landscape Manual. Unnecessary soil compaction will be avoided to promote infiltration of storm water and to provide a healthy medium for tree and shrub plantings.

Additionally, Special Design Criteria is included to ensure that the grading design reinforces the community character envisioned for the Quarry Creek Master Plan.

Special Design Criteria

1. The overall grading scheme shall follow the general natural terrain of the property, stepping down from Haymar Drive in the north to the Buena Vista Creek buffer. Final grading within the planning areas may include creating separate smaller pads for buildings and lots, and will provide vertical separation in the form of internal manufactured slopes. This will assist in opening up view opportunities for a greater amount of the residents and will also create variety to the landform and development as viewed from outlying areas.
2. When noise barriers over 6 feet high are required pursuant to a mitigation measure identified in the CEQA document, a combination of 6-foot high sound wall and berm shall be used to mitigate noise impacts.
3. The existing retaining wall located along the property line adjacent to the Quarry Creek Shopping Center shall be obscured where feasible, through embankment of soil and landscaping, as shown on Figure 42 of this Master Plan.

6.3 Pedestrian, Bike and Trail Guidelines

The Quarry Creek project will be designed with a functional pedestrian/bike circulation [backbone] system that will facilitate the movement of pedestrians and bicyclists through the site while minimizing the need for motorized forms of transportation. *Figure 25, Pedestrian, Bike and Trail Circulation Plan*, illustrates the pedestrian/bike orientation of the Master Plan. As depicted on this figure, the residential planning areas will be conveniently accessed by these pedestrian trails, including access to the adjacent commercial retail mall to the east, the Community Facilities site and open space components of the project for hiking and recreation.

6.3.1 Pedestrian Walkways

The pedestrian/bike trail system will be composed of various types of pathways. Forming the backbone of the pedestrian/bike circulation system will be landscaped paseos featuring enhanced pedestrian walkways that are intended to minimize the conflict between pedestrian and vehicular traffic. These landscaped paseos will offer connectivity within each planning area, while a variety of unpaved trails will connect each planning area and surrounding communities. The trail system is designed to permit future connections with adjacent off-site unpaved recreational trails as well as public trails and sidewalks in accordance with the Citywide Trails Program.

Street sidewalks in public rights-of-way will be a minimum of 5-feet in width. Bike lanes will be provided on all internal public roads, and will be designed a minimum of 6-feet in width. Sidewalks will be lined with shade-providing trees and will include street furniture, lighting, and crosswalks easily identifiable. Mid-block pedestrian crossings across streets will be provided in key locations.

Street sidewalk circulation in Quarry Creek will be integrated with the open space trails. This system will inter-connect pedestrian linkages between all Planning Areas and the accessible areas of the open spaces. The project's trails and linkages reinforce the Master Plan's pedestrian focus and high activity/community interaction. The Master Plan's Trail and Pedestrian Circulation System will result in a multi-use recreational and circulation system that provides a variety of routes for nature-walkers, pedestrians, skaters, cyclists, wheelchairs, etc.

6.3.2 Trails

The trails are proposed along one side of Marron Road and will be constructed of stabilized permeable surface material, and located within a 10-foot wide area. Similarly, Recreation Trails will be constructed with stabilized D.G. (or other acceptable material), but will be located along the Master Plan's single-loaded roadways, and in several locations traversing the open space preserve areas. The use of Recreational Trails within or across the HMP open space has been minimized to reduce the potential for impacts to important habitat communities. A trail between Street 'A' and the adjacent offsite Simsbury neighborhood is provided to accommodate pedestrian connection between the communities.

Public recreation trails and kiosks will be provided within the 50-foot Planning Buffer located in the residential planning areas (PA R-1, PA R-2 and PA R-3) adjacent to PA OS-3. The public trailhead at Planning Area P-5 could serve as a trailhead for a future trail connection through the Buena Vista Ecological Preserve to the north of the planning area. Trails will be constructed at the time of first occupancy of the adjacent development planning area.

Additional trails provide neighborhood connections. These trails will provide informal links between neighborhoods as well as provide neighborhood links to surrounding features such as community recreation areas, bus stops, other open space nature trails, and overlooks. Neighborhood connecting trails internal to the planning areas will be reviewed with the Tentative Maps or Site Development Plans for the various Planning Areas.

Trail Stops and Trail Markers also are proposed in key locations, as shown on Figure 25. Trail Stops will include information including a map of the trails within the development and may be located within enhanced features such as a small interpretive center structure that is designed to complement the Master Plan design theme. Trail markers (designed per City standards) consist of small posts at key locations to mark trail access points with directional arrows and include placards depicting allowed trail uses. In addition, trail regulations and dog waste stations shall be provided at trailheads.

Trails and trail signage within the Master Plan shall be subject to the following General Standards:

1. All public trails identified as part of the Citywide trail system shall be built in accordance with the City Wide Trail Design Guidelines and Standards and shall include a signage program indicating allowed trail uses and an interpretive signage component educating the public on the significant vegetation, and historical or cultural aspects associated with the area at the Trail Node.
2. Trail Markers and signage shall be provided in accordance with the City Wide Trail Design Guidelines and Standards. Trail signage shall be indicated on the Improvement and Landscape Plans at the time of development applications.
3. The surfaces of trails associated with roadways shall be constructed of permeable surface materials and shall include a header along each side of the trail, in accordance with the City Wide Trail Design Guidelines and Standards.

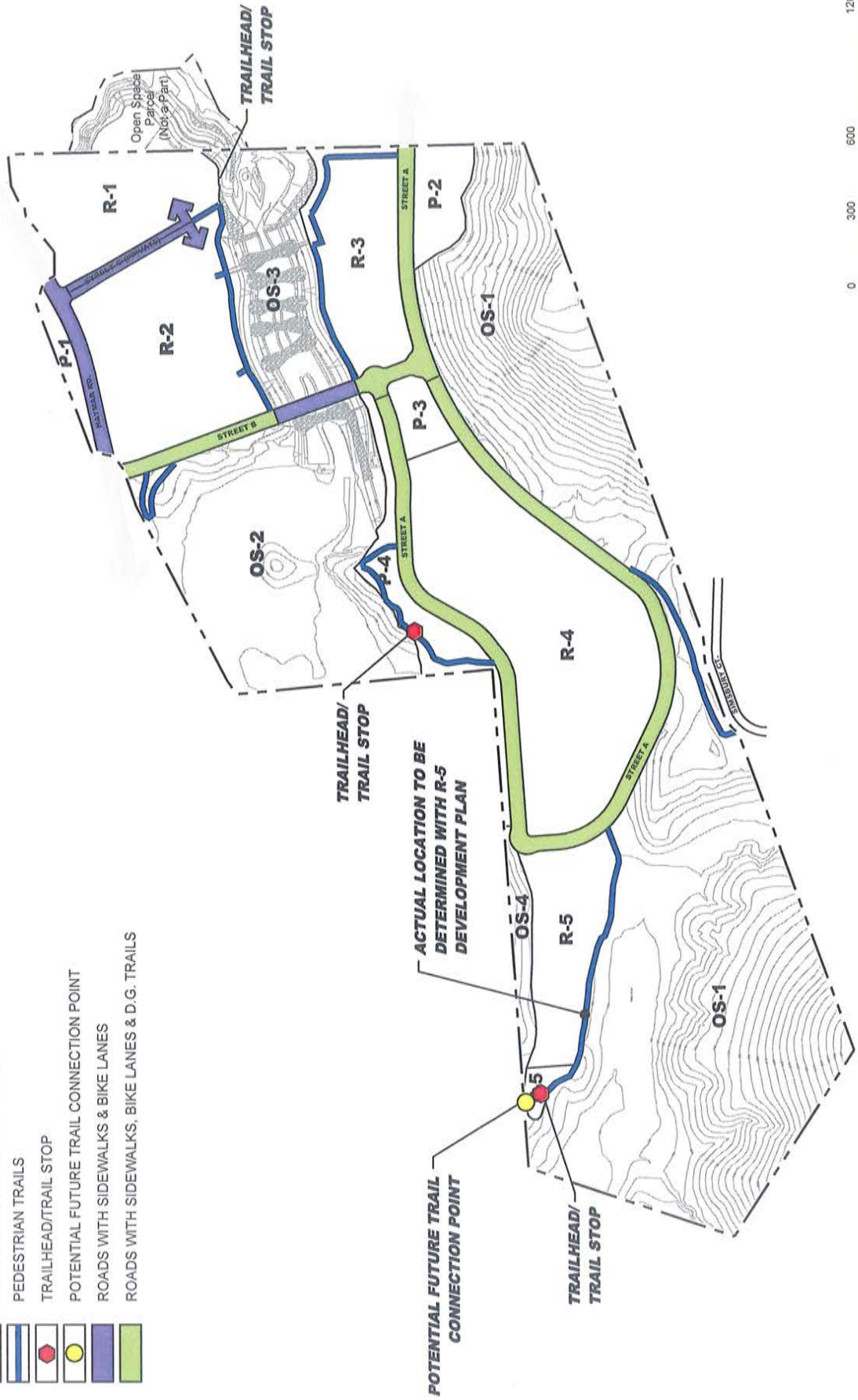
Offsite Trailhead. As a result of the elimination of the Marron Road connecting roadway between Quarry Creek and El Camino Real to the west, a single trailhead shall be provided offsite at the existing opposite [western] terminus of Marron Road (located offsite approximately 1/8 of a mile east of El Camino Real). This offsite trailhead shall include a vehicular turn-around and trail parking lot which will be provided within the existing right-of-way, generally as shown on Figure 26.

6.4 Architectural Design Guidelines

The architectural design guidelines established in this Master Plan are intended to implement the standards of this Quarry Creek Master Plan, and to establish high quality standards for the quality of development ensuring an aesthetically pleasing environment for the residents of the Quarry Creek community.

LEGEND

- QUARRY CREEK PROPERTY BOUNDARY LINE
- PEDESTRIAN TRAILS
- TRAILHEAD/TRAIL STOP
- POTENTIAL FUTURE TRAIL CONNECTION POINT
- ROADS WITH SIDEWALKS & BIKE LANES
- ROADS WITH SIDEWALKS, BIKE LANES & D.G. TRAILS



PLANNING SYSTEMS

0

300

600

1200 FT

FIGURE 27

8 parking spaces

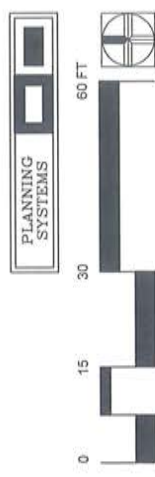
New concrete walkway

Gate

Interpretive kiosk

Bench

New landscape and trees



Location Map *Not to Scale*

FIGURE 28

Quarry Creek

MARRON RD. TRAILHEAD PRELIMINARY CONCEPT

Master Plan -

6.4.1 Architectural Theme

The key to the architectural theme for Quarry Creek is tied directly to the history and key natural elements of the site, i.e.; the Buena Vista Creek environment, the El Salto falls, and the rich cultural heritage of the area. It is envisioned that the architecture for the project will be created through consideration of the project's historical relevance, and the constraints, opportunities and characteristics of each neighborhood. A range of multifamily architectural styles, allowing diverse but compatible architectural forms and products, is provided in these guidelines. Architectural diversity within each neighborhood will be created by varying building materials, colors and textures in conjunction with architectural features (for example, roofs, windows, doors, fascias and trim), rather than by designing buildings that vary greatly in architectural styles. In addition to the guidelines below, all architectural styles shall be in compliance with the City of Carlsbad's Council Policy Statement 44 regarding neighborhood Architectural Design Guidelines.

6.4.2 Building Massing and Scale

Residential architectural elements shall provide distinction in elevations, roofline variances and other relief. Thus, it is the intent of this Design Guidelines to ensure that individual elements within a building's volume relate to one another in a balanced and aesthetically pleasing way. They are also critical when trying to understand building –to-building spatial relationships and how best to design the space between those buildings to the comfort of the homeowners and their guests.

Massing refers to the scale of a building overall, as well as its constituent parts and their affect on a building's apparent volume. Special care should be taken to break down a building's mass wherever possible through variation in height. Varied floor plans can be designed in such a way so that less long runs of side wall can be paired with plans that have longer runs.

Roof design can also affect the perceived mass of a building in that a hip/shed roof falls away from the viewer while gables continue the verticality of a wall plane, sometimes much higher. Using side-to-side main spans to lower the vertical height of walls at side yards is encouraged. It is recommended that front-to-back gable main spans should be paired with side-to-side main spans creating a reduction in apparent mass between the buildings. Porches, verandas, and loggias are also elements that can assist in minimizing a building's mass appearance and create greater dimension and visual interest.

Scale is important in that elements of a building's composition need to be in balance, as do buildings sited next to one another. One element of a building should not be so dominant as to overtake the other elements in a building's makeup. Buildings facing streets and major open spaces will be seen from numerous angles. Therefore, they should be well-detailed and distinctively articulated. Special priority including architectural enhancements and articulation such as balconies, shutters, banding and window trim are recommended on rear and side building facades that can be seen above community walls adjacent to major public streets.

6.4.3 Plotting

It is important for the projects in Quarry Creek to appear varied in their architectural character to create a sense of individual personality. Setbacks should be varied to the degree possible while still allowing for the necessary densities and valued rear yards. Varied setbacks allow for a less rigid setting.

The handling of trash and recycling bins in multifamily products can have an impact on the greater community. Such bins should be stored in a location that is not visible to the outside, and is convenient for the residents of the project. This will have a positive impact along the street and to the benefit of those who live in the multifamily projects.

6.4.4 Architectural Styles

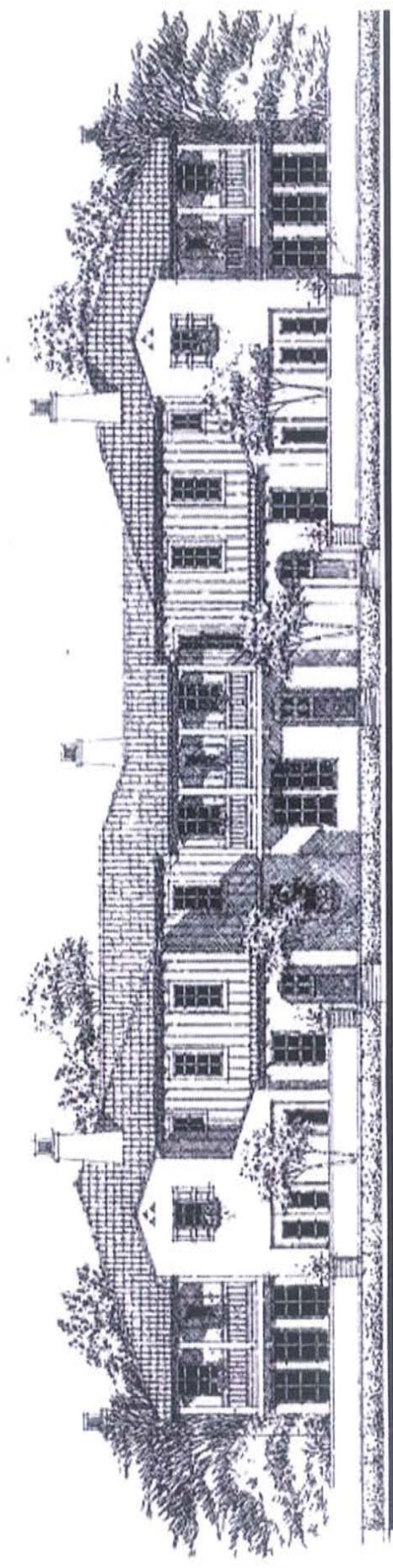
Five architectural styles have been chosen for the Quarry Creek Master Plan. These styles were selected to provide varied yet harmonious architectural themes. Each project should be internally consistent and provide sufficient architectural variation to create thematically related, yet interesting, neighborhood architectural concepts.

Conceptual illustrations of the acceptable architectural styles consistent with the overall theme of the project are demonstrated on *Figures 27 through 31*. It is important to note that these illustrations are conceptual only, and are intended to provide a starting point and direction for project architecture, which should ideally be the result of a creative interpretation of the architectural vernacular of these styles. The five architectural styles are described as follows:

1. Cottage

The Cottage architectural design is most notable for its relaxed forms, lower scale and a range of massing styles, from simple to complex. Roofs are usually low in pitch as gables, but can have higher pitches when a hip roof variant is chosen. Dormer elements can be introduced into the roofs with higher pitches to help reduce scale and the impact of a larger roof area.

Appropriate siding choices include stucco, lap siding, shingle siding, board and batter, and masonry elements including brick and stone to assist in breaking down the scale where needed. Roof materials can include concrete tile (slate or shake), composition shingles (higher profile), and small areas of metal may be acceptable. Windows should be vertical rectangles and display more playful muntin patterns. Cottage style architecture does well with strong accent colors on entry doors. Body colors of the multifamily structures can vary, trim should be off-white, accent colors middle or dark tones, roofs middle or dark tones. Masonry (brick or stone) accent is encouraged.



NOTE:
CONCEPTUAL ONLY. SUBJECT TO ADDITIONAL REVIEW AT
PLAN DEVELOPMENT PERMIT (PUD) OR SITE DEVELOPMENT
PLAN (SDP) REVIEW.



NOT TO SCALE

FIGURE 29

Quarry Creek

Master Plan

CONCEPTUAL RESIDENTIAL ELEVATION, COTTAGE

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2. Craftsman

The Craftsman architectural design presents its massing with low-pitched gable roofs with large barge boards and long roof overhangs. The larger overhangs frequently require the use of outriggers, occasionally with large corbels supporting them. Simple cruciform building shapes are common because of the "post & beam" structural systems used to construct the buildings originally.

Craftsman roofs are typically low in pitch as gables with little precedent for hip roof forms. Common building siding materials are stucco, lap siding, shingle siding, board & batten, and masonry elements including brick and stone to assist in breaking down the scale where needed. Roof materials include concrete tile (shake) and/or composition shingles (higher profile). Windows should be vertical rectangles with varied muntin patterns in the upper sash. Entry doors have smaller panels high with the larger panels on the bottom. Craftsman style also does well with strong accent colors or muted wood tones on entry doors. Body colors of the multifamily structures are typically darker tones, trim should be middle or dark tones, accent colors middle or dark tones, roofs middle or dark tones. Masonry (brick or stone) accent is encouraged.

3. European Country

The European Country architectural design can be characterized with a simple form or more complex form, with steeper roof pitches, usually on smaller multifamily buildings. Roofs usually have steeper pitch, as gables, hips or a combination of both. Broken pitch sheds and dormers are also common roof features.

Appropriate siding materials include stucco, lap siding, shingle siding, board and batten, and masonry elements including brick and stone to assist in breaking down the scale of the building, where needed. Roof materials include concrete tile (slate or shake), composition shingles (higher profile), and small areas of metal may be acceptable. Windows should be vertical rectangles with regular muntin. Bay and bow window elements are also common. Entry doors can be of many different arrangements depending upon whether the variant chosen is formal or informal and glass in the upper panel of the door is not uncommon. Wood railings on the exterior are common. Body colors of the multifamily European Country structures are typically light and middle tones, trim should be off whites or middle tones, accent colors middle or dark tones, roofs middle or dark tones. Masonry (brick or stone) accent is encouraged.

4. Monterey

The Monterey architectural design tends to be vertical and shallow, and may include cantilevered balconies. Roof pitches are usually low and consistent. The homes can have an Early California flair, or a more Traditional Beach Cottage flavor. Roofs usually have lower pitches as gables with nearly no precedent for hips. Barges tend to be flush or very short, while eave overhangs can be medium to long in length with exposed rafter beam tails.

LEGEND

- QUARRY CREEK PROPERTY BOUNDARY LINE
- CONDITION A - 60' FIRE SUPPRESSION (UPHILL CONDITION)
- CONDITION B - 60' FIRE SUPPRESSION (DOWNHILL CONDITION)
- CONDITION C - SINGLE LOADED STREET (DOWNHILL CONDITION)
- CONDITION D - SINGLE LOADED STREET (UPHILL CONDITION)

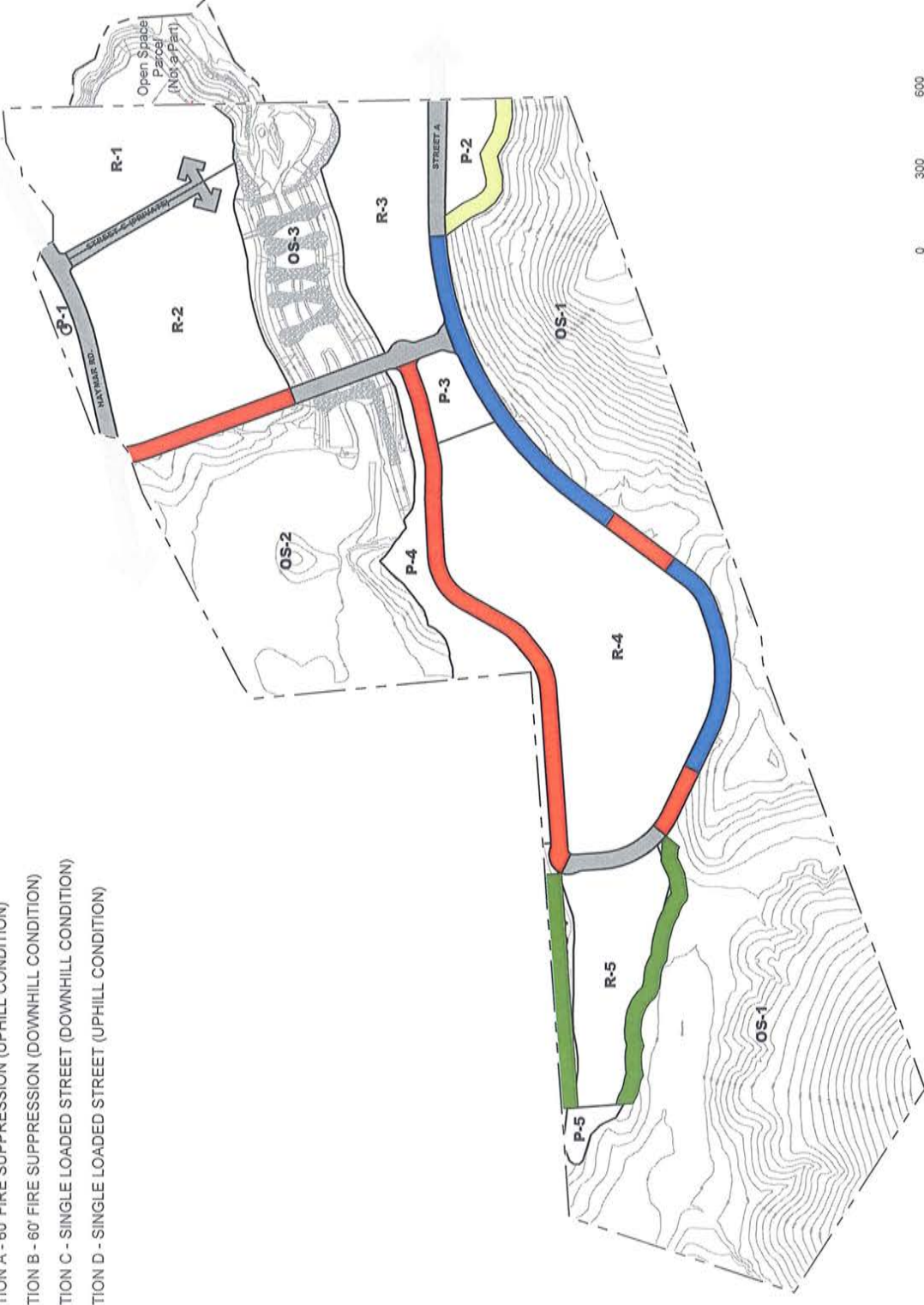
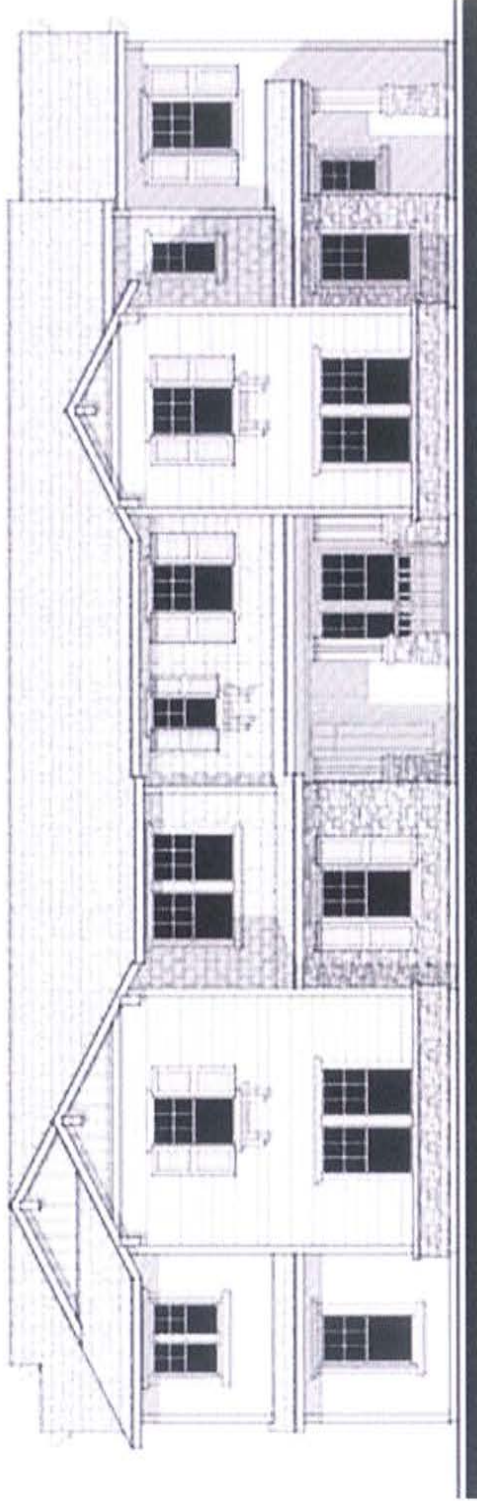


FIGURE 34



NOTE:
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PLAN (SDP) REVIEW.



NOT TO SCALE

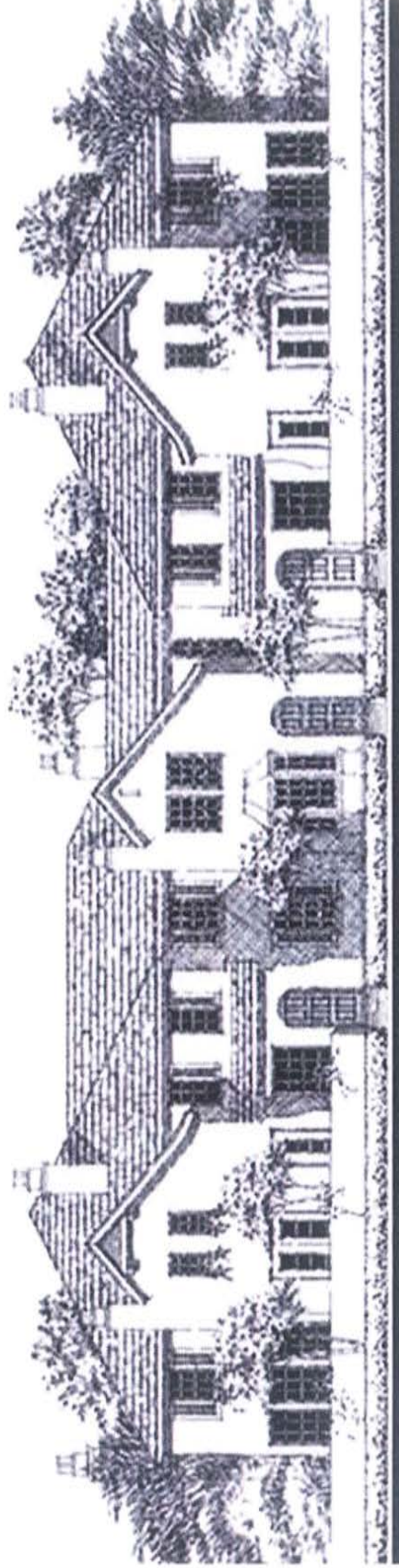
FIGURE 30

Quarry Creek

Master Plan

CONCEPTUAL RESIDENTIAL ELEVATION, CRAFTSMAN

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NOT TO SCALE

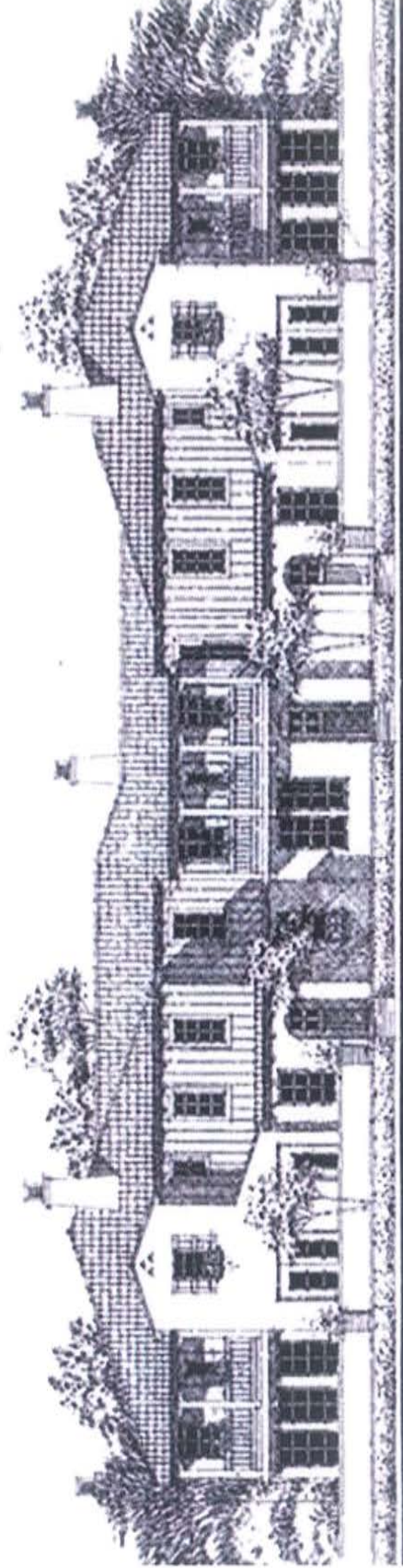
FIGURE 31

Quarry Creek

CONCEPTUAL RESIDENTIAL ELEVATION, EUROPEAN COUNTRY

Master Plan

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NOTE:
 CONCEPTUAL ONLY. SUBJECT TO ADDITIONAL REVIEW AT
 PLAN DEVELOPMENT PERMIT (PUD) OR SITE DEVELOPMENT
 PLAN (SDP) REVIEW.



NOT TO SCALE

FIGURE 32

Quarry Creek

CONCEPTUAL RESIDENTIAL ELEVATION, MONTEREY

Master Plan

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Monterey style siding choices include stucco, lap siding, shingle siding, board and batten, and masonry elements including brick and stone to assist in breaking down the scale of the building, where needed. Roofing choices include concrete tile (flat shake or barrel "S"), or composition shingles (higher profile). Windows should be vertical rectangles with regular muntin. Smaller "gun slot" windows can be appropriate and some windows might have diamond pattern muntins. Monterey style front doors tend to be more muted and can be wood toned with a stained appearance. Body colors of the multifamily Monterey structures are typically light and middle tones, trim should be off whites or middle tones with some dark tones on Mediterranean variants), accent colors middle or dark tones, roof tones middle tones or terra cotta tones for Mediterranean variants. Light toned brick accent is encouraged.

5. Spanish Colonial

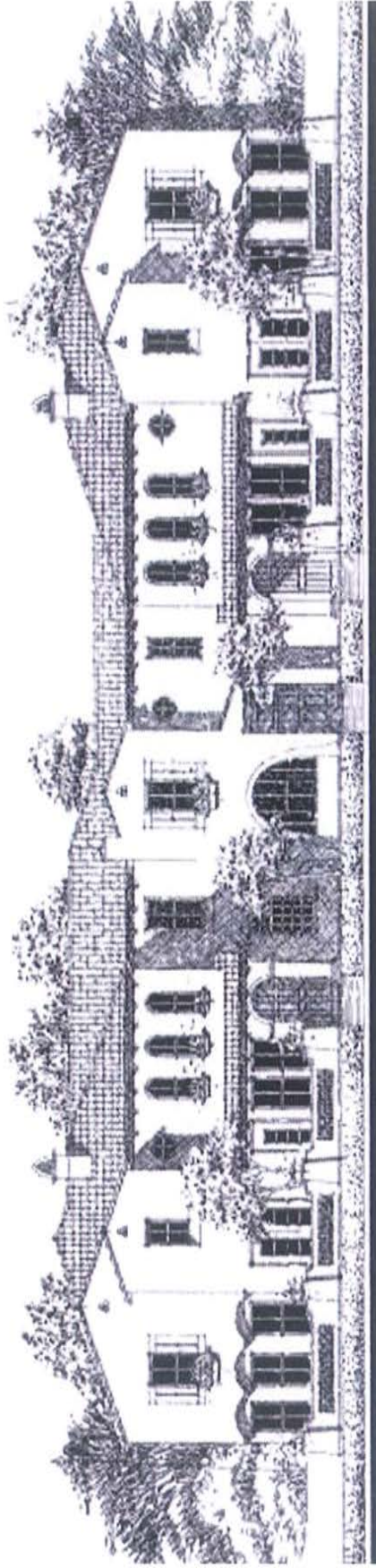
The Spanish Colonial architectural style can have simple to complex massing, with roofs that are designed with low pitched gables, hips or combination of both. Arched or elliptical openings are very common. Roof overhangs usually include flush or nearly flush barges and medium length eaves. Exposed rafter beam tails or detailed coved eave assemblies are very common.

Spanish Colonial style siding choices include stucco, lap siding (rarely, and only in gables), , board and batten (rarely, and only in gables), and masonry elements including adobe brick, sometimes painted on full wall planes and masses. Appropriate roofing materials are concrete tile (barrel S and/or Villa ("Cap & Pan"). Windows should be vertical rectangles with regular muntin. Smaller "gun slot" windows can be appropriate and some windows might have diamond pattern muntins. Spanish colonial style front doors tend to be more muted and can be wood toned with a stained appearance. Body colors of the multifamily Monterey structures are typically light and middle tones, trim should be off whites or middle tones with some dark tones on Mediterranean variants), accent colors middle or dark tones, roof tones middle tones or terra cotta tones for Mediterranean variants. Light toned brick veneer accent is encouraged.

The style palettes indicated above are intended to be utilized to comport with the intention of the architectural designer for the multifamily projects that will make up the Quarry Creek community. A variety of styles have been offered to accommodate building forms. As a "style driven" design guidelines, this Master Plan places heavy emphasis on authentic interpretations of historical styles, which may include very simple forms. These architectural styles are intended to comply with City standards, as may be modified by this Master Plan document.

6.5 Landscape Guidelines

Stringent standards for landscape and site maintenance are included in this master plan in an effort to promote the health and vitality of common spaces, natural features and cultural heritage of the site. These landscape design guidelines incorporate guidelines and criteria for landscape material and design. These Landscape Guidelines provide the blueprint for the implementation of the project's landscape design concept, which in turn, creates the primary thematic linkage for the Quarry Creek Master Plan.



NOTE:
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NOT TO SCALE

FIGURE 33

Quarry Creek

CONCEPTUAL RESIDENTIAL ELEVATION, SPANISH COLONIAL

Master Plan

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Preliminary or Conceptual landscape plans shall be submitted for each planning area concurrent with applications for discretionary development approvals for that planning area. All landscape plans shall be prepared in accordance with the City's Landscape Manual unless specified otherwise in this chapter or as required by the design criteria specified in this Master Plan as reviewed and approved through the City's Landscape Plan review and approval process. All new construction shall be landscaped in accordance with the City approved Landscape Plan for that planning area and shall be subject to City inspection of adequate maintenance levels. Landscaping within the project shall incorporate water conservation measures to the degree possible and shall meet the requirements of the City of Carlsbad Water Efficient Landscape Ordinance (WELo).

6.5.1 Landscaping Theme

The Buena Vista Creek and natural riparian vegetation corridor, and the cultural heritage of the site are the inspirations for the landscape theme of this master plan. A community-wide Landscaping Plant Palette is provided and shall be used for plant selections within the residential neighborhoods, within the public use areas and along all streetscapes within the project. These guidelines require the use of western natives and riparian species where appropriate and feasible, with a more naturalized and random planting concept, and less formalized landscape. These concepts are to be used in the streetscapes, the community areas, and in the project monumentation.

The intent of the landscape design theme of Quarry Creek is also to incorporate an urban village character into the various landscaping components throughout the community. Through careful integration of hardscape and landscape elements, residents will enjoy the ambience surroundings afforded by the high density, community-oriented urban environment, surrounded by natural open spaces that help define the community.

A primary focus of the landscape them is the El Salto Falls and the central canyon of Buena Vista Creek and its natural open space environs. Since much of the Quarry Creek project involves public use and open space areas, in areas adjacent to open spaces, landscaping should not use invasive plants, or plants that require intensive irrigation, fertilizers, or pesticides adjacent to existing or planned preserve areas and water runoff from landscaped areas should be directed away from the biological conservation easement area and treated within the development footprint.

Native, non-invasive and drought-resistant plants that require little or no irrigation once established, are encouraged to be used throughout the project. Best Management Practices will be employed during construction to control sediment and protect slopes from erosion to prevent these materials from polluting waterways. All disturbed areas and slopes will be revegetated upon the completion of building construction. Unnecessary soil compaction will be avoided to promote infiltration of storm water and to provide a healthy medium for tree and shrub plantings.

These landscape guidelines are intended to be flexible enough to allow each village and each neighborhood within a village to express its individual personality while maintaining compatibility with the overall landscape concept expressed in the Master Plan. These guidelines shall provide the blueprint for the implementation of the project's landscape

design concept, which in turn, creates the primary thematic linkage between high-density villages north of the creek, and the medium-high density villages south of the creek.

Preliminary landscape plans shall be submitted for each planning area concurrent with applications for discretionary development approvals for that planning area. All landscape plans shall be prepared in accordance with the City's Landscape Manual unless specified otherwise in this chapter or as required by the design criteria specified in this Master Plan as reviewed and approved through the City's Landscape Plan review and approval process. All new construction shall be landscaped in accordance with the City approved Landscape Plan for that planning area and shall be subject to City inspection of adequate maintenance levels.

Trees, along with walls and fences are the dominant thematic elements used to create a logical sense of order, continuity and contrast throughout the community. Trees will be pre-selected to provide the necessary guidance to the various parties responsible for implementing and administering the landscape program.

6.5.2 Landscape Zones

1. The City of Carlsbad Landscape Manual assigns a landscape intensity classification based on the intensity of maintenance and water requirements. A brief description of each zone is given below. Landscape zones for each planning area and transition area will be identified and defined in the conceptual landscape plans accompanying each tentative map or other discretionary application. All zones shall be designed to meet requirements of the City of Carlsbad Water Efficient Ordinance.

Zone One: Lush Landscape. Lush Landscaping is used primarily around entry monuments and in other locations where lush, green, flowering landscaping is required. These are high maintenance areas and will require significant amounts of irrigation. Consideration will be given to water conservation measures where appropriate.

Zone Two: Refined Landscape. Refined landscapes are those which require less intensive maintenance practices (such as mowing, pruning, etc.) and less water. Their appearance is un-manicured but well kept. These areas are primarily found along street landscape areas.

Zone Three: Naturalizing Landscape. Naturalizing landscape shall be planted for low use areas that do not have a refined appearance but are not native – a transition between the two. It should be able to naturalize and become self sustaining once established, but may require irrigation in summer months.

Zone Four: Native Landscape. Areas of existing vegetation planned for low-level active use where existing vegetation is retained with very little modification. It will require a minimal level of maintenance (usually periodic control of debris and minor clearing for seasonal fire protection) and no supplemental irrigation.

Zone Five: Native Revegetation. Native revegetation areas of coastal sage scrub and similar natural habitats will take place on areas that are graded within the hardlined open space areas. Such native revegetation will be made up of the character of adjacent habitat to the degree possible.

6.5.3 Landscape Design Elements

The following is a list of landscape elements customized for this Master Plan. These elements shall be detailed at the submittal of tentative map, site development plan or other discretionary permit for each planning area. The Landscape Design is based on the landscape theme referenced above.

1. Streets (dominant and accent trees): Landscaping of streets will provide continuity throughout the community and create the appropriate link with adjacent areas. Street trees within the Quarry Creek Master Plan area will reflect the “community design theme” of an informal landscape design and clusters of trees and be selected from the appropriate tree list.

Street tree placement and design may include a single street tree used along all the streets in a neighborhood, or may include a dominant street tree along with accent street trees used at strategic points along the street, such as clustered at intersections or at curves to break up long uninterrupted lines.

2. Residential Planning Area (theme trees): Each planning area may have its own distinctive theme trees reflective of its plant community and location.

3. Neighborhood Entries (accent trees): All residential planning area (neighborhood) entries will be anchored by specimen accent trees arranged in informal groves or clusters. Accent trees will be used to contrast with designated street trees. The neighborhood entry trees will be selected by the developer from the approved list included in this section of the master plan.

4. Slopes: Permanent landscaping for slopes will be designed to soften the appearance of the slope and to visually soften the transition between slope and pad areas. Erosion control shall also be provided as applicable and required by the City’s Landscape Manual. Plantings shall be chosen from the appropriate landscape zone while complementing the applicable plant community and maintaining view opportunities to the degree feasible.

5. Landscape Adjacent to Open Space: Only non-invasive species shall be used as landscaping adjacent to natural Open Space elements. A Fire Fuel Modification Zone consisting of drought-tolerant, fire resistant plants will be implemented adjacent to the open space edges in locations as required per this master plan. Clusters of trees and boulders, and rural natural landscaping techniques shall be used for transition areas, while maintaining a refined appearance.

6. Open Space Revegetation: Areas within the HMP hardline that have been authorized to be disturbed by grading or installation of utilities will be revegetated with coastal sage scrub plants and seeds.

6.5.3.1 Water Conservation

Water conservation will be accomplished through the use of reclaimed water and through the use of water conserving plant materials. Other conservation measures include using water-conserving mulch and soil amendments in the landscaped areas. An automatic irrigation system with automatic controllers, head to head coverage, and check valves will be used in the landscaped areas.

6.5.3.2 Fire Fuel Modification

In accordance with City of Carlsbad Landscape Manual and fire department requirements, a fire fuel modification zone will be implemented adjacent to the open space edges depicted on *Figure 32, Fuel Modification Plan*. The City Landscape Manual requires that the Fire Fuel Modification Zone consist of a minimum 60-foot structural setback (three 20-foot zones) for manufactured and native slopes from adjacent open space. No trees will be allowed within Zones 1 and 2, closest to the structures. In most Planning Areas, single loaded streets will serve as a Fuel Modification Zone by providing a buffer between residential areas and Open Space. The single-loaded street design will result in a substantial increase in the setback from open space areas. The Fuel Modification Zone will be implemented in several configurations as specified in the City Landscape Manual, based on whether the residential development area abuts manufactured slopes with native vegetation or natural slopes with native vegetation, and if the slopes are uphill or downhill from the residential development. Fuel Modification Zones are shown on *Figure 33; Fuel Modification Zones*. All Fuel Modification Zones will be located within separate lots and will be managed by the Master HOA or the approved conservation management entity.

6.5.4 Community Streetscape Landscaping

The streetscape scene and parkway design is composed of the relationship between buildings, structures, street scale, adjacent views/vistas, signs, landscaping and street furnishings. Design of street and parkway landscaping shall be determined at the tentative map stage or at the time of application for other discretionary applications for each planning area. Street sidewalks will be lined with shade trees within the parkway and will include street furniture, lighting, and clear crosswalks for pedestrians.

Street trees shall consist of mainly evergreen shade trees, planted within the parkway areas, and as close to street corners, driveways and crosswalks as allowed by City Standards. Street trees shall achieve a minimum overall rate of one tree for every 30 feet of street frontage. Underplanting below street trees will include parkways with grass and low-growing ground cover and shrubs. Planting and irrigation practices for street trees and underplanting shall avoid overwatering and shall emphasize water conservation. Street lighting shall be provided per City standards. The overall intent is to create a walkable community that is very pedestrian and bicycle friendly.

A hierarchy of landscape development zones for interior and neighborhood streetscapes is planned for Quarry Creek. Provided below is a description of the landscape treatments and conceptual streetscape illustrations proposed for Marron Road, onsite local streets, and onsite cul-de-sac streets. Following the descriptions of the landscape treatments for each streetscape, a recommended planting palette is provided. The planting palettes have been selected to ensure that the overall integrity of the landscape concept is effectively implemented throughout the stages of project development. Conceptual streetscape design is shown on *Figures 34 through 36*.

6.5.4.1 Marron Road and Haymar Drive (within project)

Special attention will be paid to the Marron Road and Haymar Drive major entries to the Quarry Creek project from the east, in that entry monumentation and streetscape treatment shall be provided to promote the entry as the major gateway into the community and to establish a sense of arrival for residents and guests alike.

Marron Road within the Quarry Creek project is referenced as Street 'A'. Street 'A' will generally be constructed as a collector roadway with 40 feet of paving (two 14-foot travel lanes and 6-foot bike lanes) within a 60-foot wide right-of-way. Five-foot wide non-contiguous sidewalks will be designed within the 10-foot parkway with an additional 5 or more-foot landscape buffer beyond ROW provided where adjacent to residential planning areas. Along this roadway in a number of locations a 6-foot wide decomposed granite (D.G.) trail will be provided on the open space-adjacent side of the roadway. Some variations of this specific design will be allowed in areas adjacent to environmentally sensitive habitats, or entryways to the project. The landscape treatment for Marron Road shall be designed in a manner which maintains the overall project thematic integrity. Please see the street section on *Figure 34*.

The Haymar Drive entry to the project is at its intersection at the north end of Street 'B'. Roadway design of this public collector section will be the same as Street 'A' referenced above, including the referenced variations of design cross-section resulting from specific adjacent conditions.

The Streetscape landscape for Marron Road is as follows:

Public Collector Roadway Theme: Urban parkway
Planting Scheme: Informal rows and canopy groupings

Street Trees:

Fraxinus o. 'Raywood'	Ash
-----------------------	-----

Support Trees:

Cinnamomum camphora	Camphor Tree
Tristania conferta	Brisbane Box
Pistacia chinensis	Chinese Pestache

Accent Trees:

Cercis occicfentalis	Western Redbud
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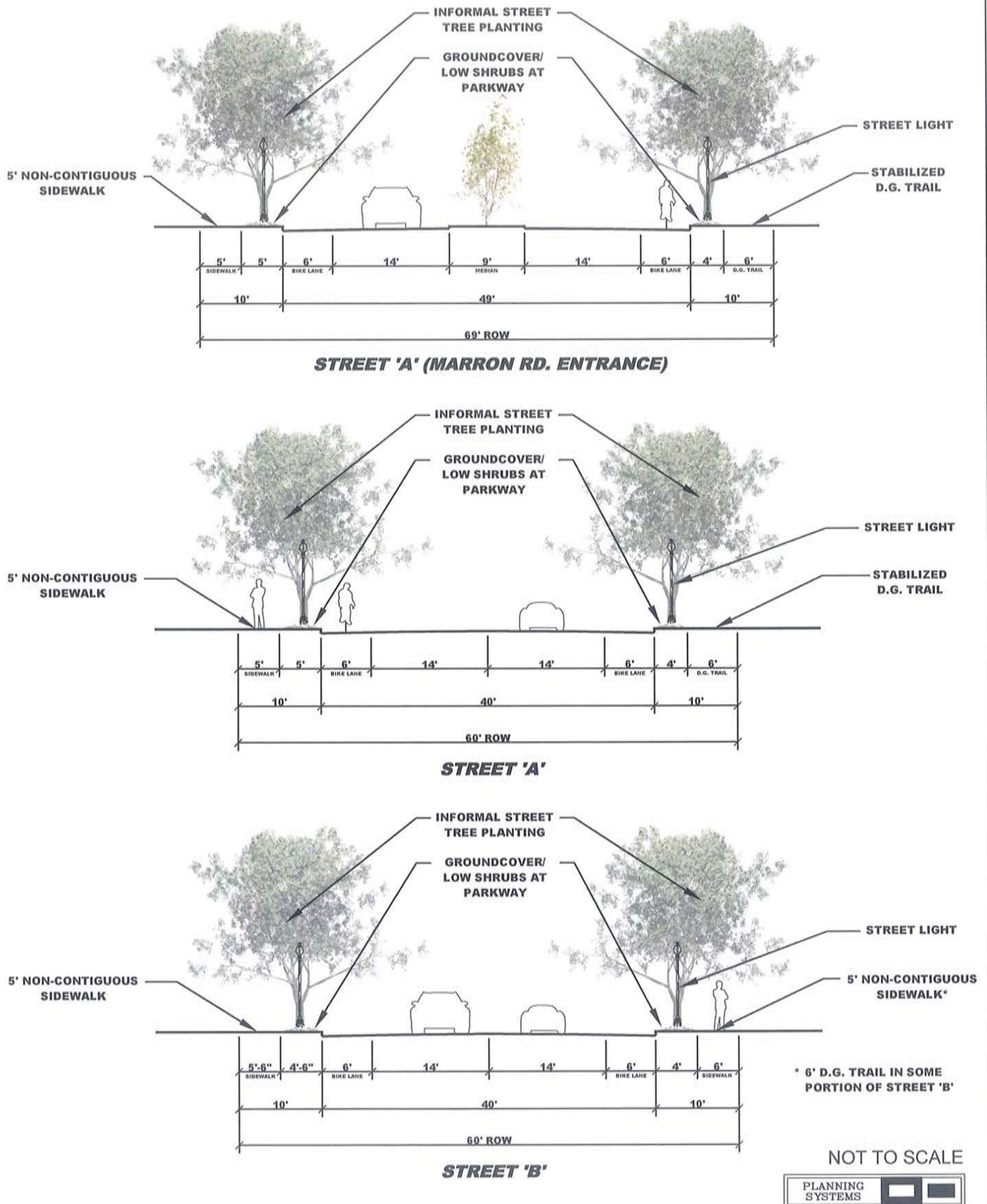
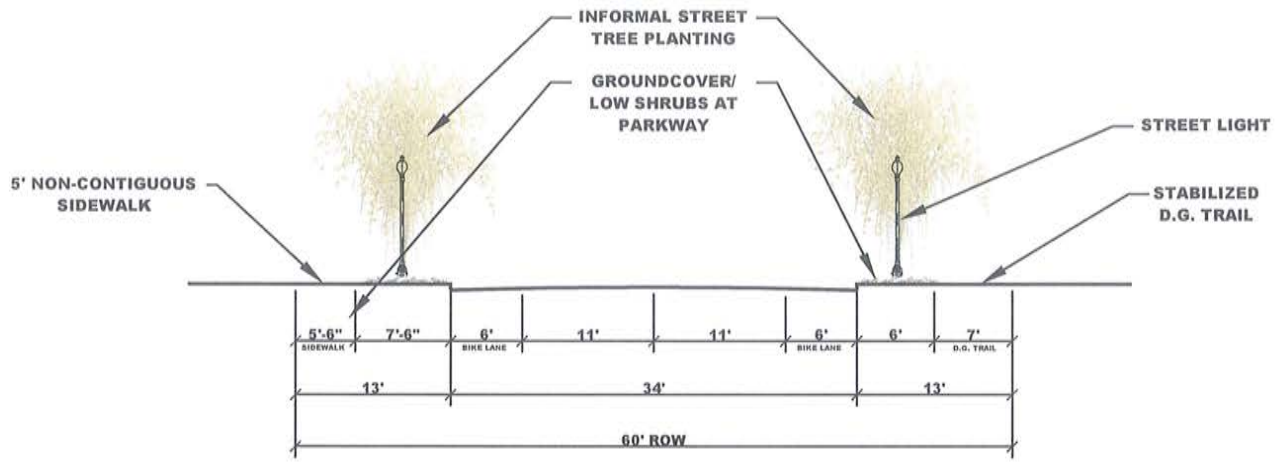


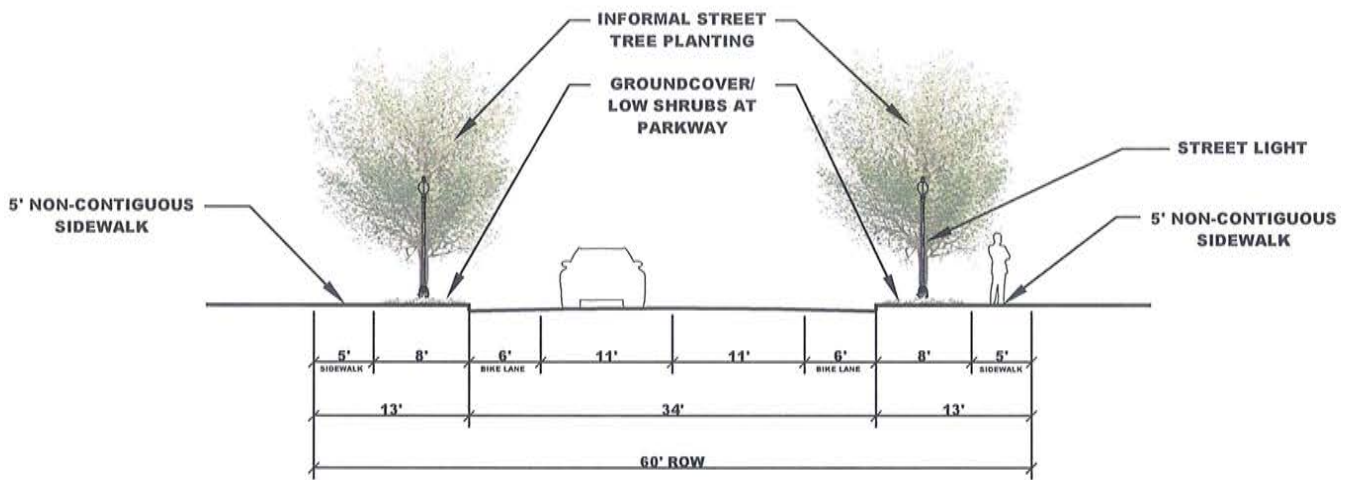
FIGURE 36

Quarry Creek

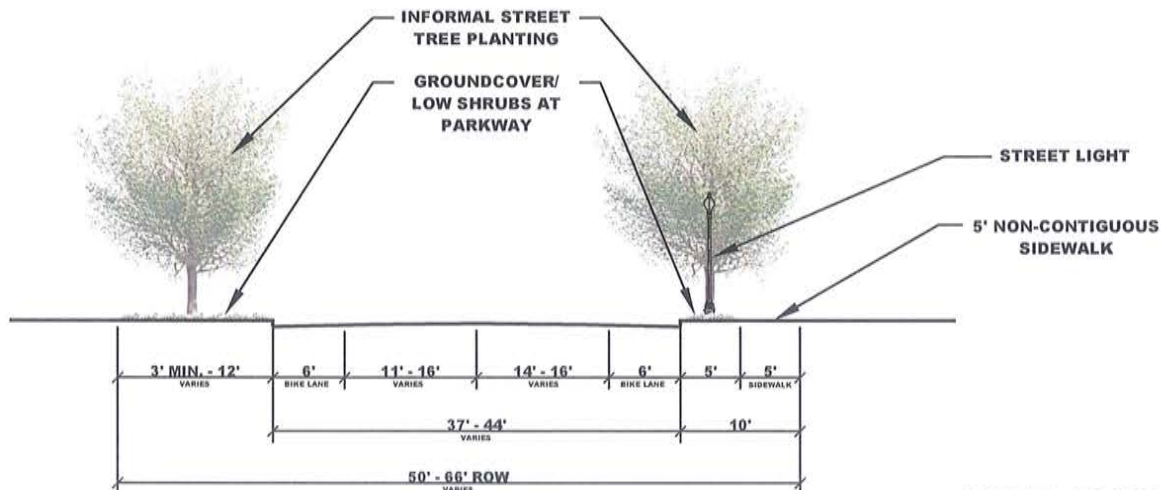
PUBLIC PROPOSED COLLECTOR STREET CONCEPTUAL STREETScape (STREET A & B)



STREET 'A'



HAYMAR DR. (FRONTING R-2)

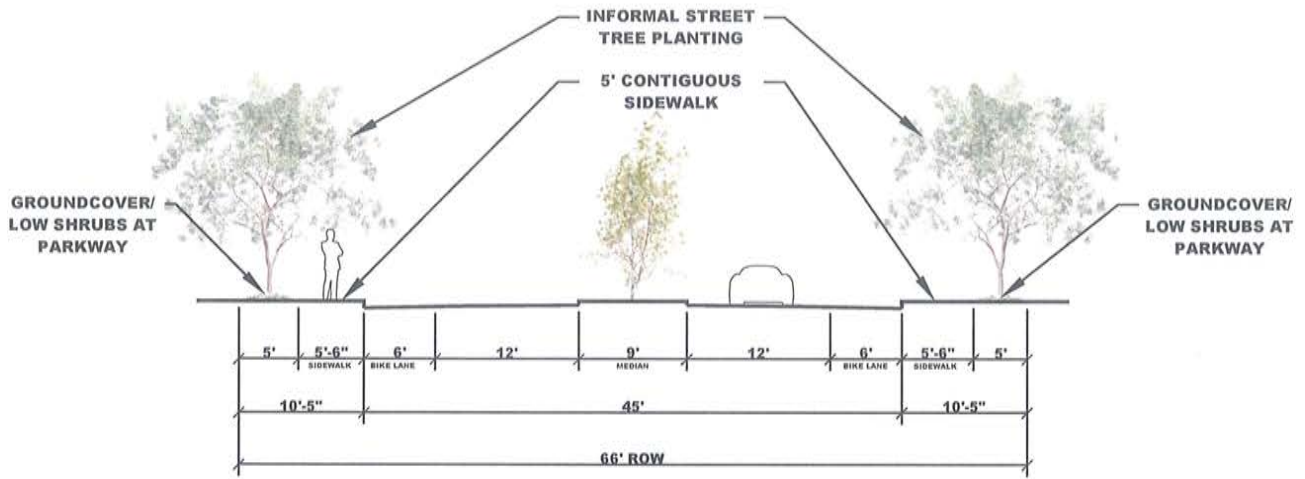


HAYMAR DR.

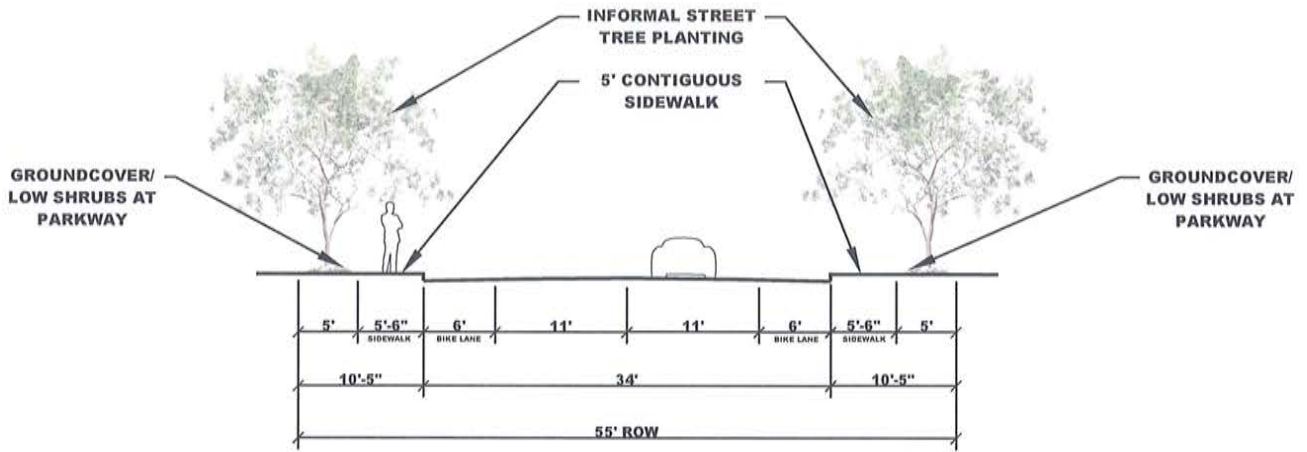
NOT TO SCALE



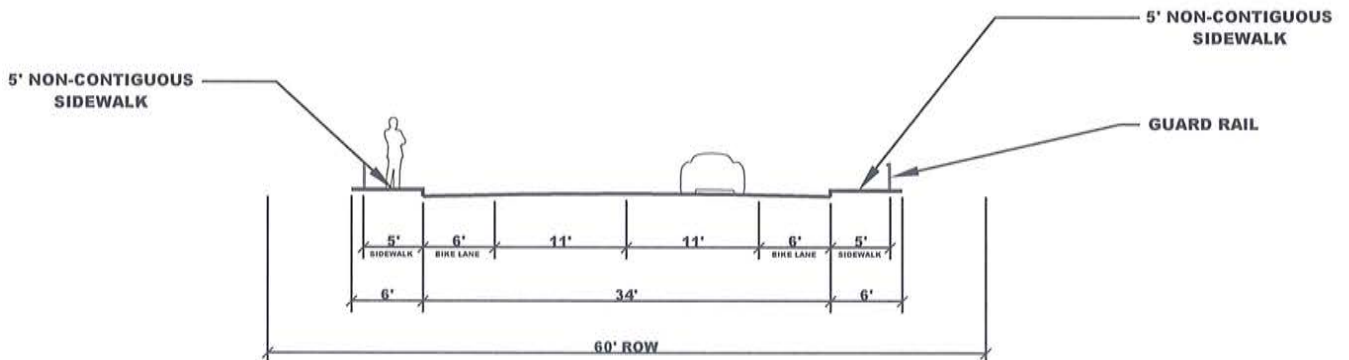
FIGURE 37



PRIVATE DRIVEWAY 'C' (WITH MEDIAN)



PRIVATE DRIVEWAY 'C'

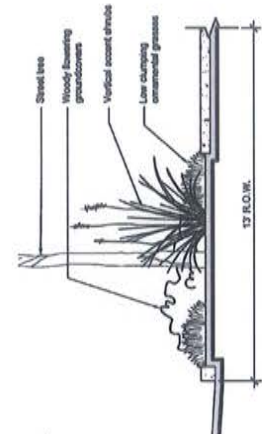
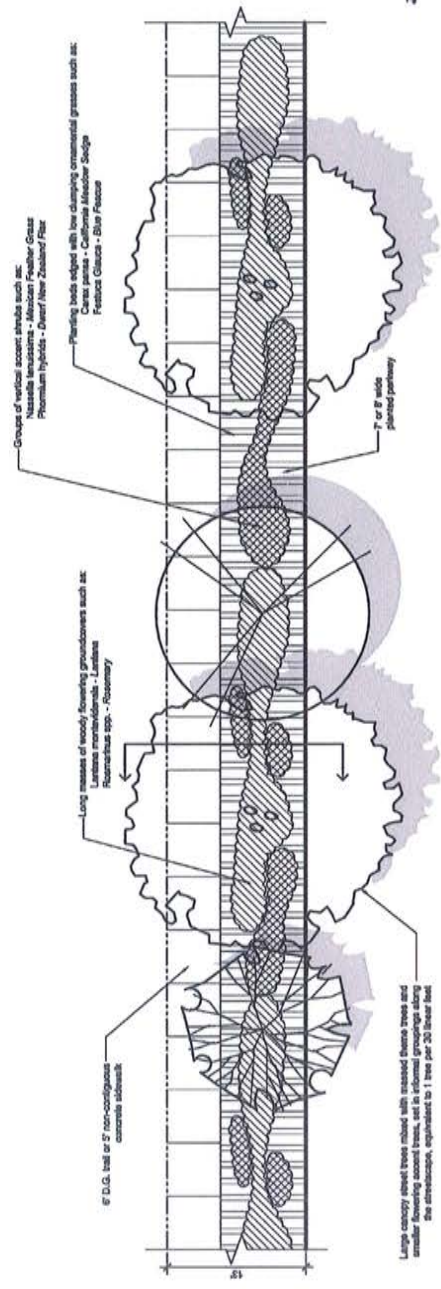
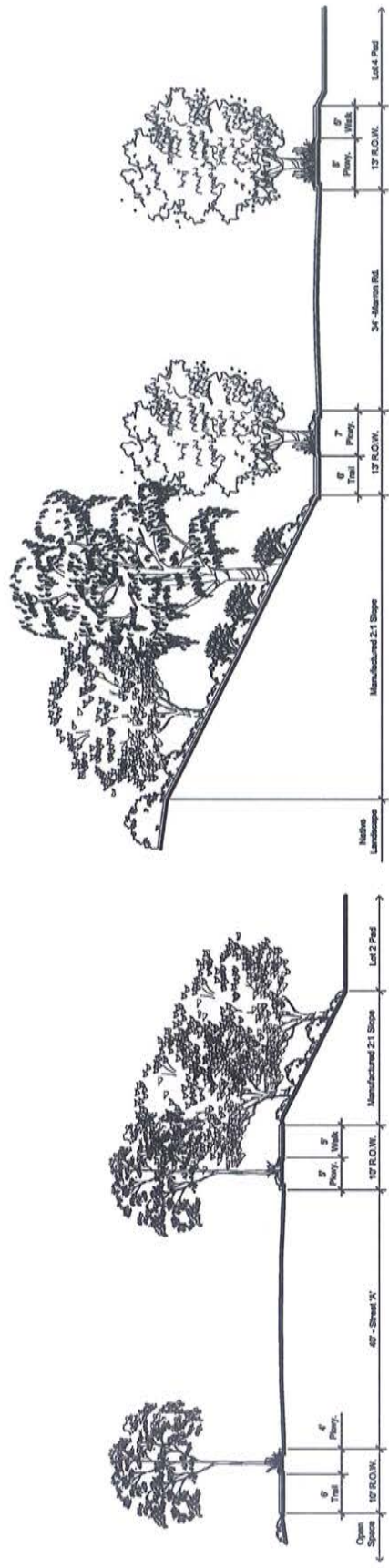


STREET 'B' BRIDGE

NOT TO SCALE



FIGURE 38



NOT TO SCALE

FIGURE 39

HOWARD
ASSOCIATES
LANDSCAPE ARCHITECTS
10000 Wilshire Blvd., Suite 1000, Los Angeles, CA 90024
Tel: 310.277.1100 Fax: 310.277.1101

Parkway Planting:

Aloe spp.	Aloe
Carex pansa	California Meadow Sedge
Festuca glauca	Blue Fescue
Lantana spp	Lantana
Limonium perezii	Sea Lavender
Nassella tenuissima	Mexican Feather Grass
Phormium tenax	New Zealand Flax
Rosmarinus spp.	Rosemary

6.5.4.2 Public Local Street (Street 'A' and Street 'B' section)

Certain sections of Street 'A' and Street 'B' within the project will be designed as local streets, in conformance with the Livable Streets Policy adopted by the City. This roadway will be constructed with 34 feet of paving (two 11-foot travel lanes, with parallel parking on both sides) within a 60-foot wide right of way. A 5-foot wide non-contiguous sidewalk will be designed to meander within a 13-foot parkway. In a number of locations, a 6-foot wide decomposed granite (D.G.) trail will be provided on the open space-adjacent side of the roadway. Some variations of this specific design will be allowed in areas as determined by the City of Carlsbad. An additional 5- to 7-foot landscape buffer will be provided within the residential planning areas on each side of the local street. Please see the street section on *Figure 35*.

Theme: Informal plantings

Planting Scheme: Informal rows and groupings of trees and shrubs

Street Trees:

Quercus ilex	Holly Oak
Quercus agrifolia	Coast Live Oak (only in locations where 6-ft. minimum parkway)
Tabebuia ipe	Pink Trumpet Tree

Support Trees:

Arbutus 'Marina'	Strawberry Tree
Pistacia chinensis	Chinese Pistache

Accent Trees:

Lagerstroemia 'Tuscarora'	Crape Myrtle
---------------------------	--------------

Parkway Planting:

Aloe spp.	Aloe
Carex pansa	California Meadow Sedge
Festuca glauca	Blue Fescue
Lantana spp	Lantana
Limonium perezii	Sea Lavender
Rosmarinus spp.	Rosemary
Phormium spp.	New Zealand Flax

6.5.4.3 Passive and Active Open Space Areas

The plant palette for the passive and active open space areas, such as Public Use Areas on Quarry Creek is as follows:

<i>Alnus rhombifolia</i>	White Alder
<i>Arbutus 'Marina'</i>	Strawberry Tree
<i>Cassia leptophyllum</i>	Gold Medallion Tree
<i>Cercis occidentalis</i>	Western Rosebud
<i>Chliopsis linearis</i>	Desert Willow
<i>Cinnamomum camphora</i>	Camphor tree
<i>Geijera parviflora</i>	Australian willow
<i>Tipuana tipu</i>	Tipu Tree
<i>Tristania conferta</i>	Brisband Box

Shrubs:

<i>Agapanthus spp</i>	Lily of the Nile
<i>Agave attenuata</i>	Blue Agave
<i>Alyogyne huegelii</i>	Blue Hibiscus
<i>Anigozanthos spp.</i>	Kangaroo Paw
<i>Artemisia 'Powis Castle'</i>	No common name
<i>Bougainvillea spp.</i>	Bougainvillea
<i>Caesalpinia gillesii</i>	Mexican Bird of Paradise
<i>Callistemon spp.</i>	Bottlebrush
<i>Cistus spp.</i>	Rock rose
<i>Coreopsis maritima</i>	NCN
<i>Feijoa sellowiana</i>	Pineapple Guava
<i>Hemerocallis spp</i>	Day 144
<i>Hesperaloe parviflora</i>	Red Yucca
<i>Lantana spp</i>	Lantana
<i>Laveatera assurgentiflora</i>	Tree Mallow
<i>Ligustrum 'Texanum'</i>	Texas Privet
<i>Phlomis fruitcosa</i>	Jerusalem Sage
<i>Phormium tenax</i>	New Zealand Flax
<i>Pittosporum spp.</i>	Mock Orange
<i>Raphiolepis spp.</i>	Indian hawthorn
<i>Rosa californica</i>	California Wild Rose
<i>Rosmarinus spp.</i>	Rosemary
<i>Salvia spp.</i>	Sage
<i>Salvia greggii</i>	Autumn Sage
<i>Senecio serpens</i>	Serpens
<i>Tecoma stans</i>	Yellow Bells
<i>Westringia fruticosa</i>	Coast rosemary

Groundcovers:

Baccharis	Twin Peaks Coyote Bush
Lantana montevidensis	Lantana
Marathon Fescue	Turf
Muhlenbergia rigens	Deer Grass

6.5.5. Common Landscape Areas

The common area landscaping plant palettes are articulated in this section.

6.5.5.1 Slopes

The manufactured slopes plant palette shall be plant materials in the list identified below:

Trees:

Fremontodendron spp.	Flannel Bush
Geijera parviflora	NCN
Pinus halepensis	Aleppo Pine
Rhus lancea	African Sumac

Shrubs:

Acacia redolens	Prostrate Acacia
Ceanothus spp.	California Wild Lilac
Cistus spp.	Rock Rose
Encelia californica	Coast Sun Flower
Heteromeles arbutifolia	Toyon
Myrica californica	Pacific Wax Myrtle
Prunus ilicifolia	Cherry
Rhus	Sumac
Rosmarinus spp.	Rosemary
Salvia clevelandii	Cleveland Sage
Sambuca mexicana	Blue Elderberry
Tagetes lemmonu	Copper Canyon Daisy
Tecoma stans	Yellow Bells

Groundcovers:

Baccharis 'Twin Peaks'	Coyote Bush
Rosemarinus 'Lockwood Forest'	Prostrate Rosemary

6.5.5.2 Entries at Marron Road and Haymar Drive

The entry monument area plant palette at Marron Road and at the Haymar Drive intersection at the north end of Street 'B' shall be as follows:

Trees:

<i>Alnus rhombifolia</i>	White Alder
<i>Quercus agrifolia</i>	Coast Live Oak
<i>The vetia peruviana</i>	Yellow Oleander

Shrubs:

<i>Agave attenuata</i>	Blue Agave
<i>Alyogyne huegelii</i>	Blue Hibiscus
<i>Artemisia 'Powis Castle'</i>	NCN
<i>Bougainvillea</i> spp.	Bougainvillea
<i>Callistemon</i> spp.	Bottlebrush
<i>Feijoa sellowiana</i>	Pineapple Guava
<i>Lantana</i> spp.	Lantana
<i>Phormium tenax</i>	New Zealand Flax
<i>Rosmarinus</i> spp.	Rosemary
<i>Salvia</i> spp.	Sage
<i>Westringia fruticosa</i>	Coast Rosemary

Groundcovers:

Annual color/perennials	Annual color/perennials
<i>Aloe</i> spp.	Aloe
<i>Limonium perezii</i>	Sea Lavender
Ornamental grasses	Grass variety
<i>Senecio serpens</i>	NCN Bark mulch

6.5.5.3 Coastal Sage Scrub

The coastal sage scrub plant and seed palette shall be as follows:

Coastal Sage Scrub:

<i>Artemisia californica</i>	California Sagebrush
<i>Encelia californica</i>	California Encelia
<i>Erigonum fasciculatum</i>	California Buckwheat
<i>Heteromeles arbutifolia</i>	Toyon
<i>Rhus</i> spp.	Sumac
<i>Sambucus mexicana</i>	Blue Elderberry
<i>Opuntia</i> spp.	Cholla
<i>Baccharis pilularis</i>	Coyote Bush
<i>Eriophyllum confertiflorum</i>	Golden Yarrow
<i>Lotus scoparius</i>	Deerweed
<i>Lupinus</i> spp.	Lupine
<i>Mimulus aurantiacus</i>	Sticky Monkey Flower

Nassella pulchra	Purple Needle Grass
Sisyrinchium bellum	Blue Eyed Grass

Bio-Retention Basins:

Alnus rhombifolia	White Alder
Platanus racemosa	California Sycamore

Groundcover/Low Shrubs

Festuca rubra	Red Fescue
Carex pansa	California Meadow Sedge
Cistus salvifolius	White Rockrose
Salvia spp.	Sage

6.5.5.4 Revegetation

The revegetation shall be as follows:

Native Landscaping:

Artemesia californica	California Sagebrush
Encelia californica	California Endiia
Erigonum fasciculatum	California Buckwheat
Heteromeles arbutifolia	Toyon
Rhus spp.	Sumac
Salvia spp.	Sage
Sambucas mexicana	Blue Elderberry
Optunia spp.	Cholla
Baccharis pulularis	Coyote Bush
Eriophyllom con fertiflorum	Golden Yarrow
Lotus scoparius	Deerweed
Lupinus spp.	Lupine
Mimulus aurantiacus	Sticky Monkey Flower
Nassella pulchra	Purple Needle Grass
Sisyrinchium bellum	Blue Eyed Grass

Non-Irrigated Hydrossed Mix for Revegetation (with temporary irrigation):

Artemesia californica	California Sagebrush
Baccharis pulularis	Coyote Bush
Deinandra fasciculata	Fascicled Tarplant
Encelia californica	California Endiia
Erigonum fasciculatum	California Buckwheat
Eriophyllom con fertiflorum	Golden Yarrow
Eschscholzia californica	California Poppy
Isocoma menziesii	Goldenbush
Lasthenia gradis	Common Goldfields
Lotus scoparius	Deerweed
Lupinus succulentis	Arroyo Lupine
Mimulus aurantiacus	Monkeyflower
Nassella pulchra	Purple Needle Grass

Plantago erecta	Dot seed Plantain
Salvia mellifera	Black Sage
Sisyrinchium bellum	Blue Eyed Grass

6.5.6 Entry Treatments and Signage

The intent of conceptual project monumentation is to create visual identification of the project, establish a hierarchical order within the community and provide unifying design accents within the community. The actual location and design of all project entries, walls, and fencing shall be established through the conceptual landscape plans of the appropriate tentative maps, site development plans or other discretionary applications. Allowable sign area shall be pursuant to CMC Section 21.41.095. The location of signs and entry statements is shown on *Figure 38; Entries and Signs Plan*.

Both the Marron Road entry and the Haymar Drive entry (at the north end of Street 'B') into Quarry Creek will have highly visible monument identification signifying a major entry into the project. Monument signage and special landscaping may be utilized at these entries to identify the place of arrival. Within the neighborhoods, internal signage is intended to serve as identification and theme elements of the project. Monument signage, together with the consistent landscape theme treatment will be important unifying elements of the project. A strong design theme shall be developed with the major entry monuments, and then carried through the project as it is developed.

6.5.6.1 Community Entry Features

Quarry Creek community entry monuments and features serve to create visual identification of and sense of arrival to the community. *Figure 39; Conceptual Community Entry Elevation* shows the conceptual appearance of the two Community Entry Features for the project. Allowable sign area shall be pursuant to CMC Section 21.41.095.

Community Entry Features occur at the Marron Road entry and the Haymar Drive entry (at Street 'B') into Quarry Creek. Community Entry Features consist of enhanced landscaping and monument signage which create identifiable and visually pleasing entry to the Master Plan community. Community Entry Features will enhance the overall community design concept by incorporating a combination of stone materials, and an informal planting of specimen and theme trees. In both locations, the Community Entry Feature will include a decorative monument sign designed as an integral part of the wall.

At each of the Quarry Creek Community Entry Features special attention will be paid to streetscape treatments to promote the entries as a gateway into the community and to establish a sense of arrival for residents. The preceding plant palette lists are intended to be used as a guideline for plant selections for these community entries. Some species may not be used, and additional species which complement the planting theme may be selected.

LEGEND

-  QUARRY CREEK PROPERTY BOUNDARY LINE
-  PUBLIC ROADS
-  PRIVATE ROADS
-  NEIGHBORHOOD ENTRY
-  COMMUNITY ENTRY FEATURE (OPTIONAL)
-  NEIGHBORHOOD IDENTIFICATION MONUMENT (OPTIONAL)
-  PUBLIC USE AREA SIGN

NOTE:
Entry monuments may be provided on only one side of the street, or on both sides, as determined by the developer.

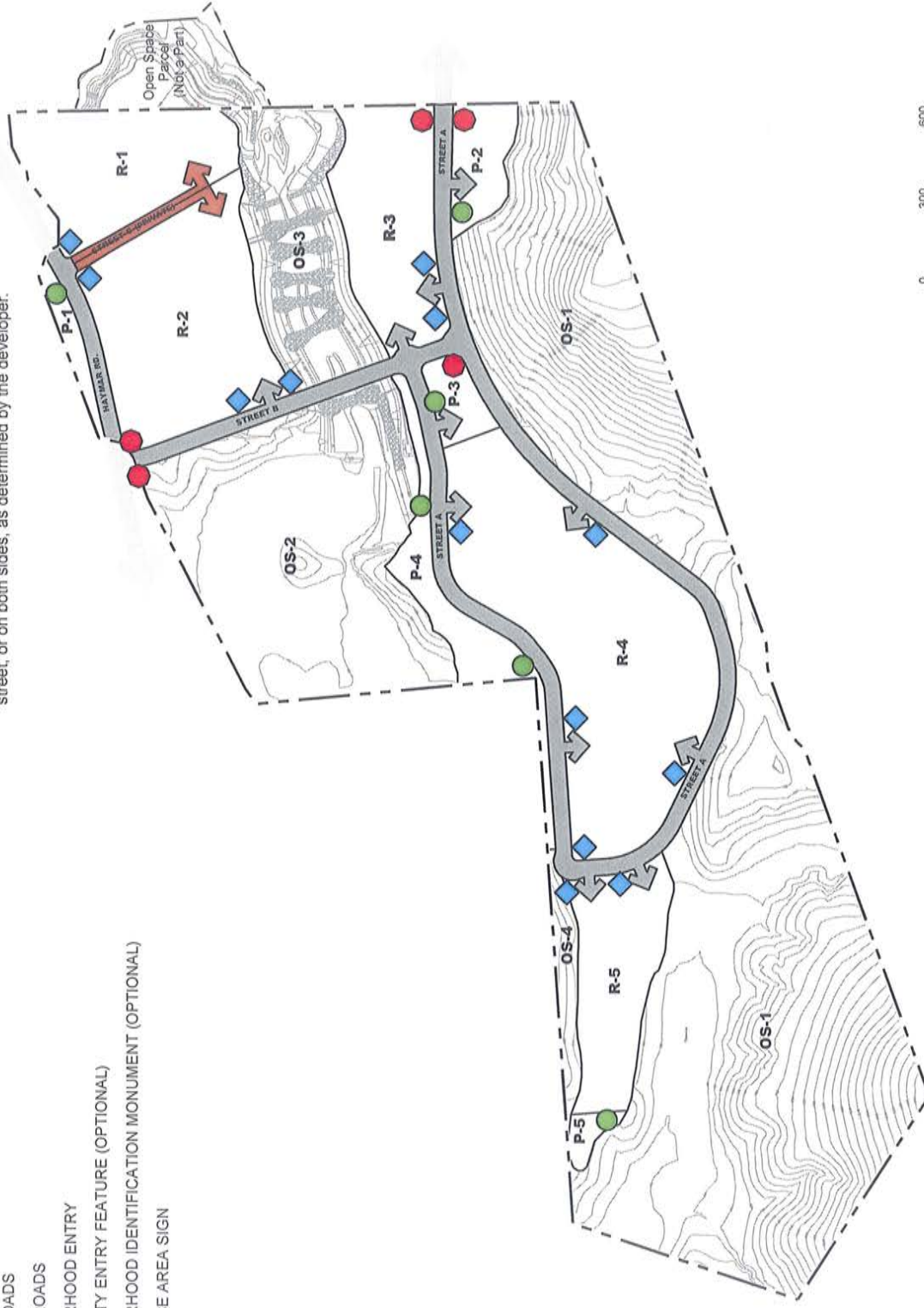


FIGURE 40

Quarry Creek

Master Plan

ENTRIES AND SIGNS PLAN

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Entry monument landscape vegetation species shall be as indicated in Section 6.5.4 of this Master Plan.

6.5.6.2 Neighborhood Entry Statements

Neighborhood Entry statements may be provided in each residential planning area where they can be utilized to identify a related grouping of buildings and homes. Neighborhood Entries should convey the overall planning area theme and a coherent community identity by selectively repeating, at a less intense scale, the planning area entry elements. The walls of the neighborhood Entry statements will connect to privacy, view or combination walls at the sides or back of residential lots, as appropriate and necessary. The foreground will be planted with colorful shrubs and ground cover. Neighborhood Entry statements, when proposed, shall be incorporated into a Planning Area's required landscape plan. Each residential Planning Area may have neighborhood Entries at the primary entrance point(s) into the development. The actual location and design of all neighborhood entries, walls, and fencing shall be established through the conceptual landscape plans of the appropriate tentative maps, site development plans or other discretionary applications. Neighborhood entries shall include the same design vernacular and style as the Community Entry monument signage. *Figure 40; Conceptual Neighborhood Entry Elevation* demonstrates an example of a neighborhood entry statement sign that would be located at an entry to a typical Quarry Creek residential planning area.

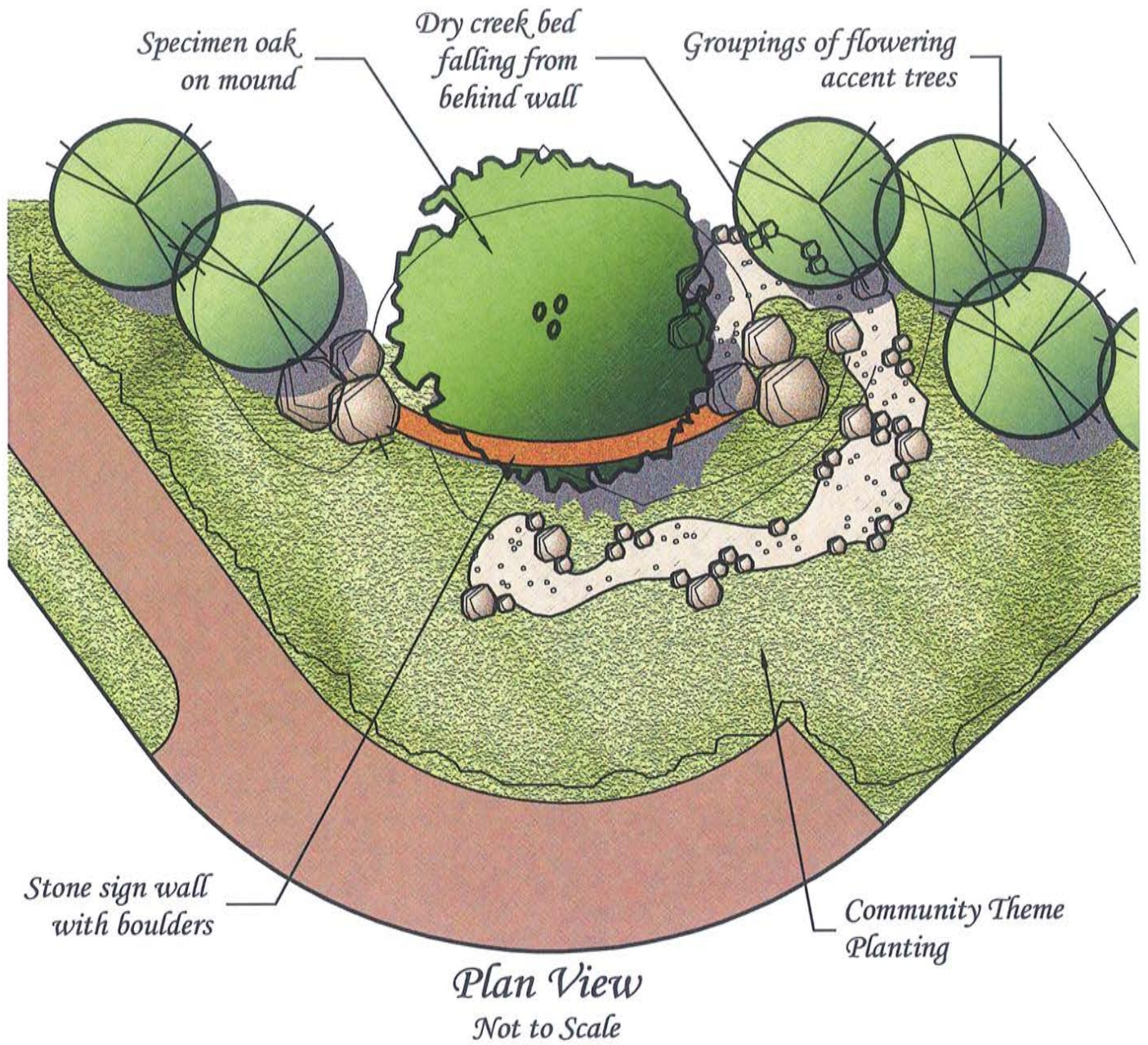
Grading plans shall also show these walls to accommodate sight distance considerations. Each residential Planning Area may have Neighborhood Entries at the primary entrance point(s) into the development. These Neighborhood Entries for the may be provided at the primary entrances into each of the residential planning areas however the exact location and design will be determined at site plan review. Landscaping of neighborhood entry statements shall be consistent with the plant materials and theme of the neighborhood interior landscaped open spaces.

6.5.6.3 Signs

Appropriate signage is important in maintaining the community design theme, as well as providing a system for identifying community development, recognition of the cultural history of the site, and giving directional information to residents and visitors. Unless noted within this Master Plan, all residential and nonresidential signs shall comply with the requirements of the City of Carlsbad's Sign Ordinance (Chapter 21.41 of the Carlsbad Municipal Code).

The following basic principles shall be considered in the provision of signs within this Master Plan:

- The design and architectural elements of the proposed signs shall be compatible and consistent with theme elements of the Master Plan. Street signs/names may be thematic and reflective of the history and cultural values of the site.
- Signs should relate to human scale, especially along pedestrian corridors and should encourage pedestrian use.



NOT TO SCALE

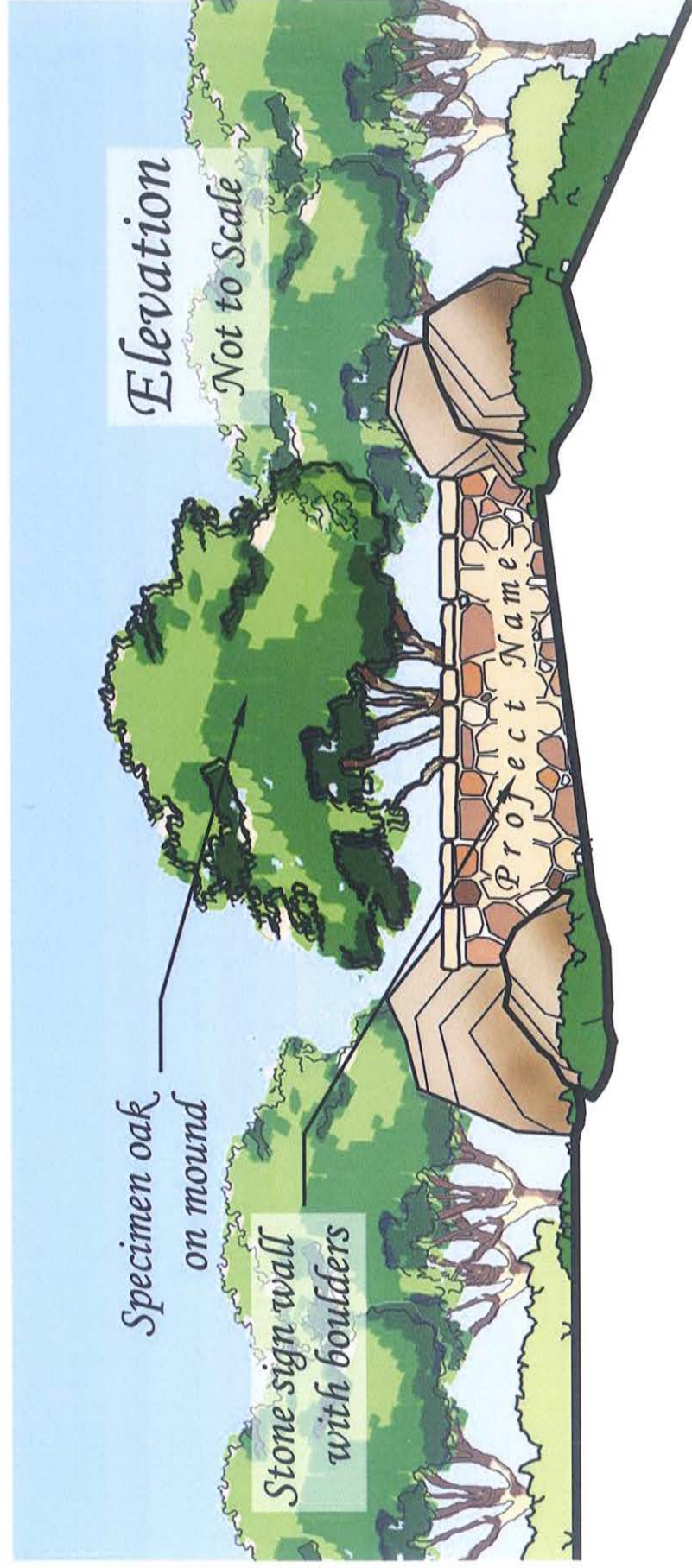


FIGURE 41

Quarry Creek

CONCEPTUAL COMMUNITY ENTRY - PLAN VIEW

Master Plan



NOT TO SCALE

FIGURE 42

Quarry Creek

CONCEPTUAL COMMUNITY ENTRY - ELEVATION

Master Plan

PAGE VI-37

- The design of signs should be compatible with and complement the architecture of the adjacent buildings.
- Signs shall be designed to create a unifying theme within the Master Plan.
- Public Use Areas shall include interpretive signage that provides location and trail information for the pedestrian and bicyclist. These features will also include interpretative kiosks, signage, educational opportunities regarding the natural resources and cultural and historical heritage of the property, and also entrance restrictions per the conservation easement and Preserve Management Plan. This interpretive and directional signage shall be located along trails and viewing areas, and potentially in areas covered by the Falls Management Plan.

6.5.7 Landscape Maintenance

All landscape maintenance shall conform to the City of Carlsbad's Landscape Manual and project CC&Rs. The use of organic fertilizers and pest controls will be encouraged. In general, the overall appearance of the landscape shall be neat, healthy and free of weeds and debris. All new construction shall be landscaped in accordance with a City approved Landscape Plan, and subject to City inspection of adequate maintenance levels.

Maintenance of landscaping will be dependent upon whether the area in question is for the use of the general public ("public") or the exclusive use of homeowners ("private"). The City shall maintain the medians on the public streets, or alternatively they will be maintained by the HOA through issuance of an encroachment agreement. The Master HOA or the HOA for each planning area shall be responsible for the maintenance of all private open space within its planning area, except private open space within individual private lots. A Master HOA will be responsible for the maintenance of the parkways and landscaped fire buffers.

Maintenance and liability for all HMP open space preserve areas including trails not located within the individual planning areas shall be the responsibility of an approved conservancy manager with experience in managing habitat preserves. Alternatively, if the City of Carlsbad forms a public open space maintenance district, then the open space will be managed by the Citywide Open Space Maintenance District manager. As a last resort, in the event that no conservancy will accept the property, and that no district is formed, then these responsibilities shall be assumed by the Master Homeowners' Association or other acceptable entity.

6.6 Walls and Fences

Walls and fencing will be used throughout the project area to complement the overall design theme, establish community identity, provide protection from roadway and other noise, protect HMP open space as may be required by the wildlife agencies, and allow privacy and security in residential areas. All fences and walls within the Quarry Creek Master Plan shall be designed as integral elements of building architecture or complementary to the architecture and landscape character. Several types of walls, excluding walls associated with entry monumentation, that will occur within the Master Plan area (shown on *Figure 41; Fence and Wall Plan*) are described below:

6.6.1 Community Theme Wall

This wall will be used within the project area for a variety of purposes, such as where privacy or security is desired, as well as in locations where screening or noise barriers are necessary. The Community Theme Wall shall be five to six feet high, and constructed of split face/precision block with pilasters and a pre-cast cap. Pilasters shall be provided at regular intervals, which may vary but which shall be not less than 100-feet on center, depending on the location of the wall and changes in elevation or direction. Theme walls shall also be located along the rear, side, or street side yards of planning areas which abut recreation open space or public/private streets. A conceptual plan demonstrating the types of walls on Quarry Creek is shown on Figure 42; Conceptual Theme Walls and Fence Details.

6.6.2 Perimeter Walls

This fence type includes view fencing, sound/view walls and solid block walls and may be used between lots or planning areas. The tubular steel view fence may be used at parks and open space areas where some security and privacy is necessary, but also where an unobstructed view is desirable. View fencing shall be constructed of tubular metal pickets with pilasters, and stucco or concrete caps, consistent with the architectural style and with the Neighborhood Entry. Where views and noise attenuation are desirable, a combination sound/view wall shall be used. Finally, in areas where views are not desirable, a solid block wall with pilasters may be provided. The solid block wall shall consist of a split face wall with pre-cast cap. For each of the perimeter walls, pilasters shall be provided at regular intervals, which may vary, depending on the location of the wall but shall be provided as needed to ensure the structural integrity of the wall.

6.6.3 Production Fencing

Wood fences may be provided at the rear and sides of individual residential lots in order to provide security and privacy for individual residential units. Wood fencing shall not exceed a height of six feet. If pilasters are proposed, the pilasters shall be provided at regular intervals, which may vary, depending on the location of the wall but shall be provided as needed to ensure consistency with the perimeter and community theme walls. Wood fencing shall not be used within fire suppression zones.

6.6.4 Trail Fencing

Trail fencing shall be installed when a public trail is provided adjacent to preserved open space, in order to minimize human intrusion into open space areas while providing a natural experience for trail users. Trail fences shall be constructed of railings manufactured from non-combustible materials. Trail fences shall not exceed a height of three (3) feet. The trail fencing shall include signs which identify the open space and entrance restrictions per the Conservation Easement and regulations associated with the Quarry Creek Preserve Management Plan.

LEGEND

- QUARRY CREEK PROPERTY BOUNDARY LINE
- ROADS
- TRAIL FENCE
- VIEW FENCE
- COMMUNITY THEME WALL
- POTENTIAL PROJECT ENTRY MONUMENT LOCATIONS

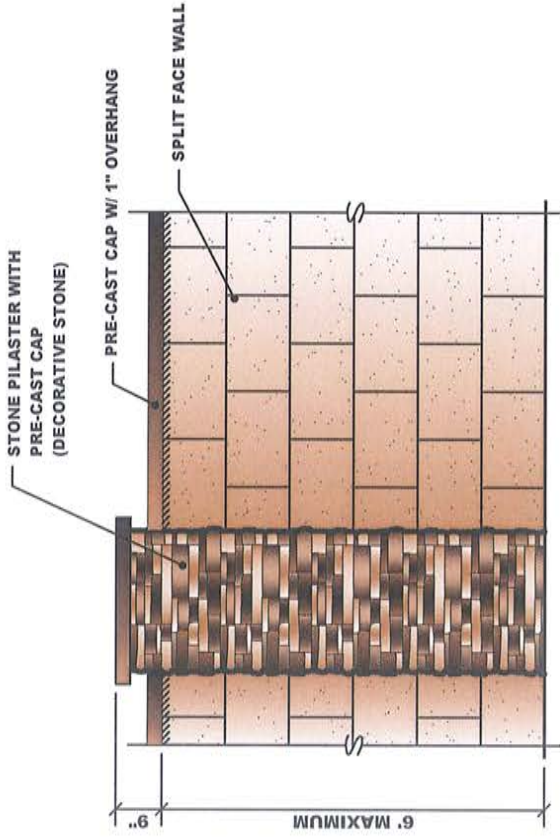


FIGURE 43

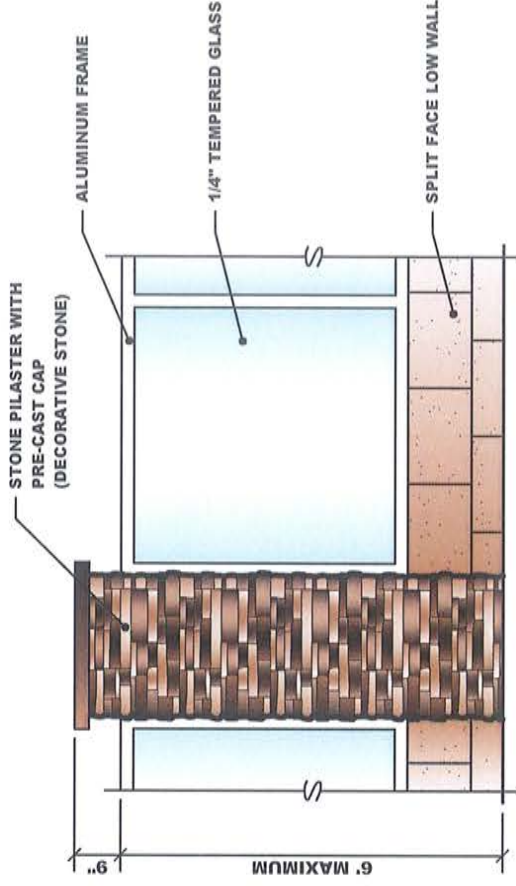
Quarry Creek

FENCE AND WALL PLAN

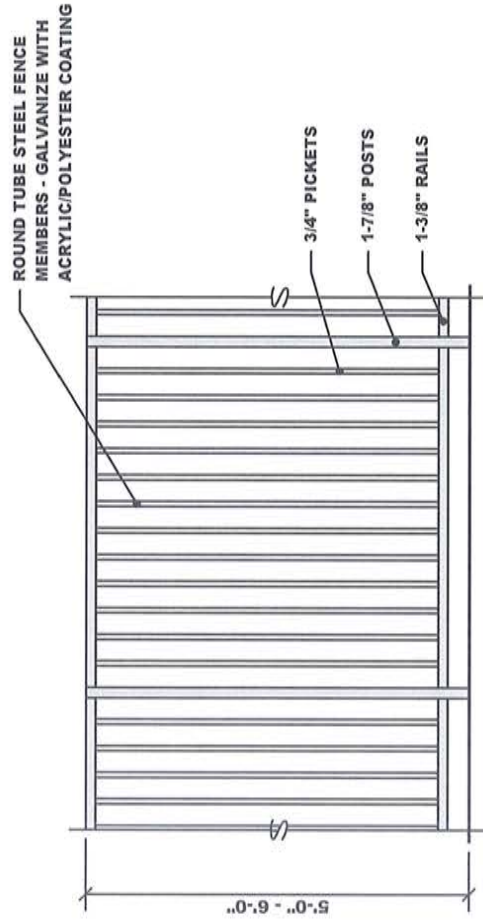
Master Plan



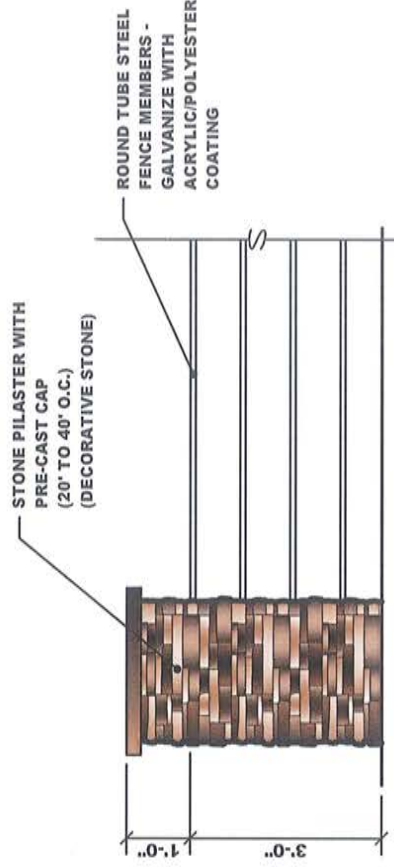
COMMUNITY THEME WALL/NOISE WALL



SOUND/VIEW WALL



VIEW FENCE



TRAIL FENCE



NOT TO SCALE

FIGURE 44

CONCEPTUAL THEME WALLS AND FENCE DETAILS

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Quarry Creek

Master Plan

6.6.5 Existing Crib Wall

The existing crib wall adjoining the Quarry Creek property along the east property line shall be partially buried and/or otherwise obscured where feasible prior to development of Planning Area R-3, in a manner generally consistent with *Figure 43; Crib Wall Plan* of this Master Plan, as approved by the City Planner.

6.7 Lighting

The design issue of “lighting” includes street lighting, as well as building and landscape accent lighting, and sign illumination. The following basic principles should be considered in the provision of lighting:

- Street lights shall provide a safe and desirable level of illumination for both motorists and pedestrians without intruding into residential areas.
- Lighting fixtures shall relate to the human scale, throughout the project.
- Lighting and lighting fixtures shall complement the design and character of each planning area in which they are placed.
- All lighting shall be pedestrian oriented and friendly but shall not be obtrusive or offensive.
- All street lighting shall conform to City standards or an approved theme lighting program, and shall be approved by the City Engineer.
- Illuminated entries shall direct lighting low to the ground and be limited to only the immediate vicinity of the entry.
- Lighted entries shall not be distracting, create visual hot spots, or glare, etc.
- All Public Use lighting shall be restricted and designed so as not to significantly affect any residential planning area, open space areas or other nearby properties.
- All lighting conditions will be addressed in the review and approval of any site development plan or other application.



PLANT LEGEND

sym	Latin name	Common name	Plot 1	Plot 2
TREES (50% 24" box, 50% 15 gallon)				
A	Lophostemon confertus	Brisbane Box	X	X
B	Populus fremontii	Western cottonwood	X	X
C	Cupaniopsis anacardioides	Carrot wood	-	-
D	Eriobotrya deflexa	Bronze loquat	X	-
LARGE SHRUBS (15 gallon)				
	Heteromeles arbutifolia	Toyon	X	X
	Rhus integrifolia	Lemonadeberry	-	X
SHRUBS (5 gallon)				
	Acacia 'Desert Carpet'	Dwarf Acacia	X	-
	Pittosporum t. 'Variegata'	Variegated mock orange	X	-
	Raphiolepis indica 'Enchantress'	Indian hawthorne	X	-
	Ceanothus 'Skyline'	Wild lilac	X	-
	Streptocarpus reginae	Bird of Paradise	X	-
GROUND COVER (1 Gallons, flats)				
	Agapanthus africanus	Lily of the Nile	X	-
	Myoporum parvifolium	Dwarf myoporum	X	-
	Gazania hbd.	Trailing gazania	X	-
	Lantana montevidensis	Trailing lantana	X	-
	Baccharis 'Twin peaks 2'	Dwarf coyote brush	X	X

NOTES

- Plot 1 - to be regraded; to receive new irrigation and a new ornamental, moderate water to drought-tolerant planting.
- Plot 2 - existing drought-tolerant installation to remain; confirm irrigation is properly working; infill screening trees and shrubs as shown.
- Plots 1 and 2 shall be separately valved to properly serve different hydrozones.
- The plantings on these slopes shall not include any plants identified on the current List A and List B of the California Exotic Plant Council's List of Exotic Plants of Greatest Ecological Concern in California.



160 FT

80

40

0



FIGURE 45

RETAINING WALL PLAN

Quarry Creek

7 PUBLIC FACILITIES AND INFRASTRUCTURE PLAN

The Quarry Creek Master Plan property is located within the City of Carlsbad Growth Management LFMP Zone 25. This zone is located in the northeast quadrant of Carlsbad, and the public facilities and urban infrastructure proposed is consistent with the requirements and plans identified in this LFMP Zone 25 document. The general infrastructure and layout of facilities needed to accommodate the proposed development in Quarry Creek are identified and discussed in this chapter.

7.1 Relationship to Zone 25 Local Facilities Management Plan

The Quarry Creek Master Plan area is located within Local Facilities Management Plan (LFMP) Zone 25 of the Carlsbad Growth Management Program. As such, the property is subject to the requirements and conditions identified in the Zone 25 LFMP, which is being processed for approval in conjunction with this master plan. This LFMP identifies special conditions with which any development project within the zone must comply in order to maintain acceptable public facility service levels. These special conditions will be found in the Zone 25 LFMP and Finance Plan.

All public infrastructure improvements within the master plan shall comply with City standards or as required or accepted by the City Engineer. In addition, as required by the Carlsbad Growth Management Program, an ongoing monitoring program will evaluate the aspects of improvements, development, and demand on circulation facilities. The required timing of improvements is based upon the projected demand of development in the zone and the surrounding region. This timing may be modified without amendment to the LFMP or this Master Plan, however, any deletions or additions to the improvements will require amending the LFMP.

The following sections discuss the public facilities and services which will be necessary to accommodate the development of the Quarry Creek Master Plan. Specific engineering requirements, not discussed herein, will be determined through the subdivision map process.

7.2 Phasing

It is anticipated that the Quarry Creek Master Plan will be graded, with major roads and underground infrastructure all installed in a single phase. Local roads associated with development of each planning area will be constructed in accordance with demand for improvements relating to that particular planning area. This will ensure that a safe and efficient circulation system is provided as the project builds out over a period of time. Infrastructure improvements, including water, sewer, drainage and dry utilities will be phased in logical progression to meet the development needs associated with each phase as it is constructed. All Public Use Areas shall be phased with development of any adjacent residential Planning Area.

The affordable housing requirement for the project will be complied with pursuant to an affordable housing agreement prior to recordation of the master [or first] final subdivision map for the project. Construction of the affordable housing units (PA R-1) will be provided in relation to the timing of the market-rate units. The affordable housing agreement will contain the phasing requirements for the affordable units.

This Master Plan does not require that development phasing occur in any particular order, provided that the necessary infrastructure is in place or occurs concurrently to serve the planning area development being constructed.

7.3 Transportation & Circulation Plan

Quarry Creek is afforded vehicular access through two existing public streets within the city of Oceanside; Marron Road, and Haymar Drive. Regional vehicular access is provided by Highway 78, and the College Boulevard interchange, located only 1,000 feet easterly of the site. These existing streets, in addition to alternative transportation modes available as indicated below, will provide general access to Quarry Creek. The locations and general alignments of future roadways within the Quarry Creek Master Plan are depicted on *Figure 44, Vehicular Circulation Plan*.

Bike lanes will be included on all public streets within the project. The project also contains easy and convenient connection to the regional bus system and the PA P-1 Hwy. 78 Park & Ride lot. The Park & Ride lot will be primarily used by freeway carpoolers. Consistent with Smart Growth policies, the NCTD bus route will provide service to the project and the bus stop on Haymar Drive within the project will feature street furniture, including benches, shelters and transit information.

7.3.1 Intersection Spacing and Traffic Calming

All intersection spacing within the master plan shall be consistent with the standards provided by this Master Plan. Village access points are to be located as demonstrated on Figure 44, which in some cases, including primarily the intersection of Street 'A' and Street 'B', will require a standards deviation from intersection spacing policy.

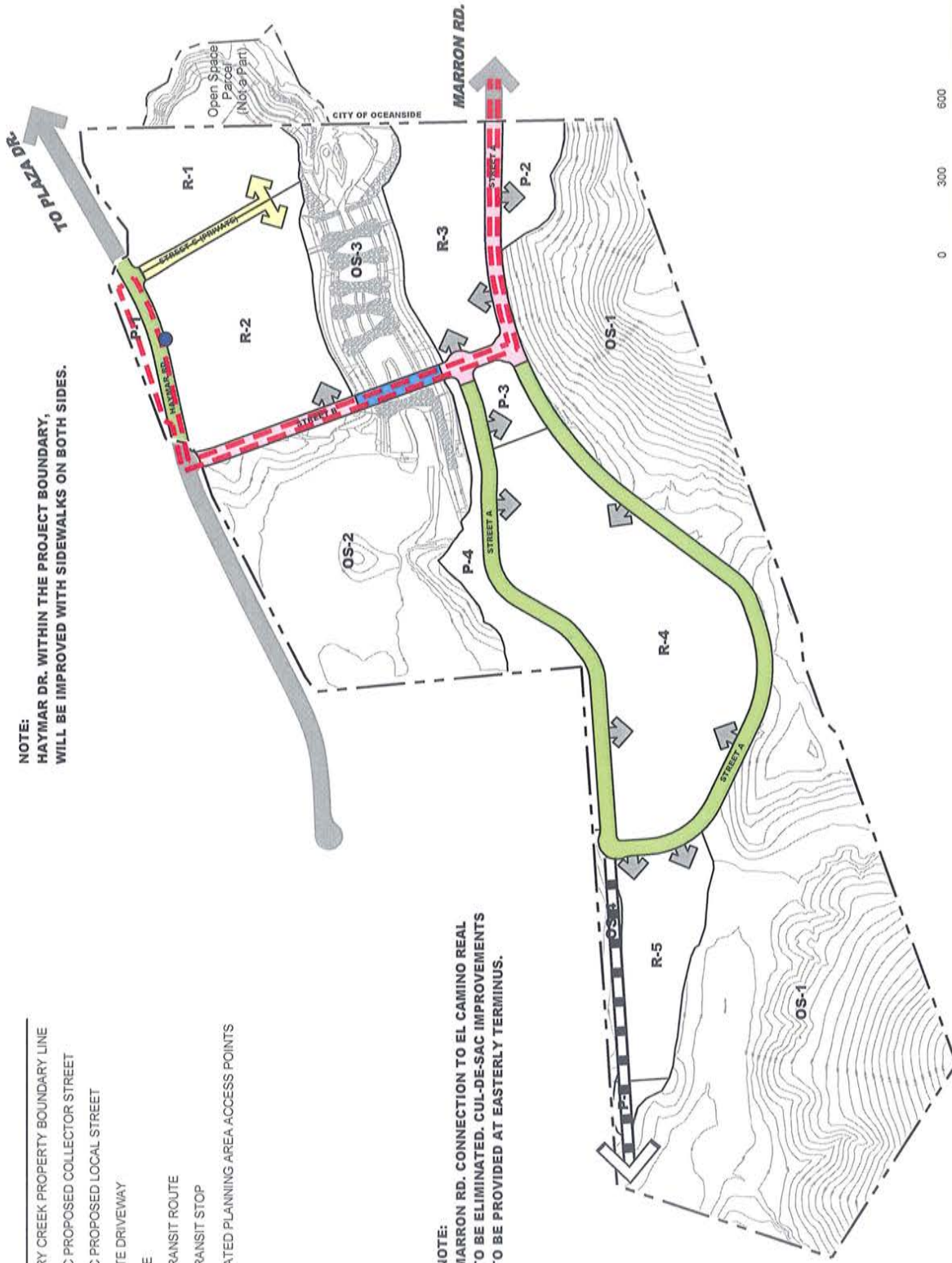
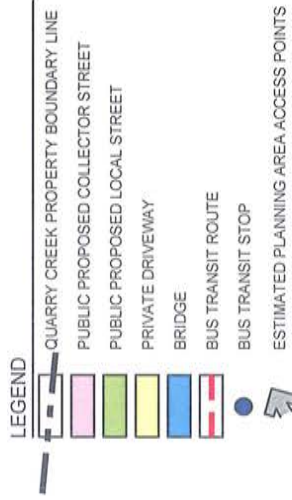


FIGURE 46

Quarry Creek

Master Plan

VEHICULAR CIRCULATION PLAN

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Traffic calming features, including design aspects intended to provide for "Complete Streets", or general community livability, have been provided on the collector streets and within the project neighborhoods. These features serve to complement the walkability of the street system by providing safe and inviting points of crossing through the use of pop-outs and other curb extensions. The traffic calming measures, which are intended to slow traffic, discourage cut-thru trips and provide for a safer pedestrian and bicycle oriented community, include the provision of entry medians, roundabouts/traffic circles, well-identified mid-block pedestrian crossings and roadway neckdowns. Access to the individual residential neighborhoods is provided by local streets constructed in accordance with the City's Livable Streets Policy. These improvements make pedestrian crossings shorter and reduce the visual width of a long-straight street, and thus contribute to allowing the roadway to operate with all users in mind, including motorists, bicyclists, public transportation vehicles and pedestrians..

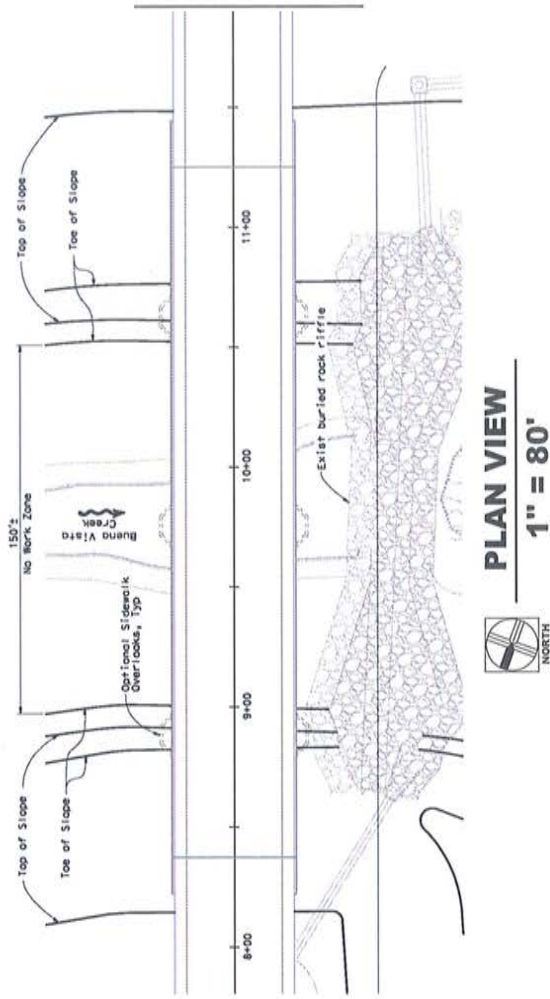
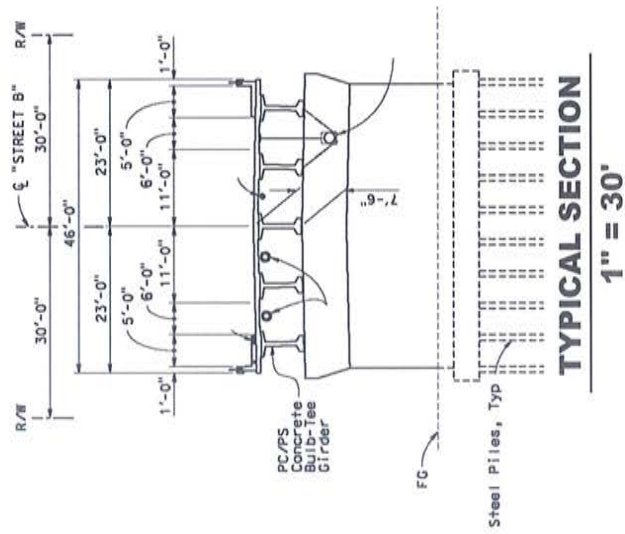
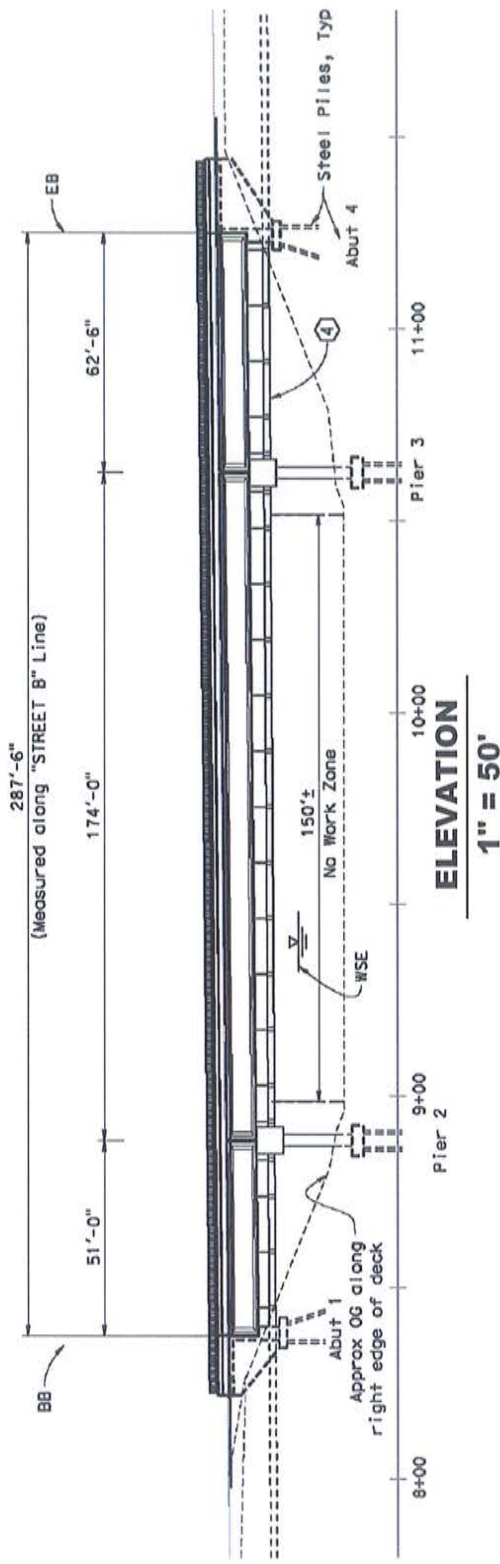
7.3.2 Primary Entry Street – Marron Road

Primary entry streets entering into the project are at Marron Road (Street 'A'), entering from the Quarry Creek Shopping Center, and (b) Street 'B', entering from Haymar Drive on the north side of the property. Marron Road will be designed as a collector roadway (60-foot ROW width), in accordance with the City of Carlsbad Engineering Department public collector street standards. Marron Road will be constructed with 40 feet of paving (two 14-foot travel lanes and 6-foot bike lanes). Five-foot wide non-contiguous sidewalks will be designed on the outside (away from curb) within the 10-foot parkway. Some variations on this design may occur in several areas of the roadway, depending upon specific conditions in the vicinity of the roadway segment.

The design of Street 'B' will also involve construction of a 170-foot span bridge across Buena Vista Creek. This bridge will be designed as an arch/cable type of bridge, constructed of a spliced precast/prestressed girder bridge with concrete deck and vertical supports. The bridge is designed at a reduced cross-section, at an anticipated 34-foot in width curb to curb (two travel lanes plus two 5-foot bike lanes). A 5-foot sidewalk will be constructed on each side for pedestrians. This information is depicted on *Figure 45; Quarry Creek Bridge Planning Study*.

7.3.3 Local Streets

All other thru public streets shown on Figure 44 shall be designed as indicated in this Master Plan. Local streets shall be designed at 60-foot ROW width in accordance with City of Carlsbad Engineering Department local street standards. These roadways will be constructed with 34 feet of paving (two 12-foot travel lanes and 5-foot bike lanes). A 5-foot wide non-contiguous sidewalk and/or 6-foot decomposed granite trail will be designed within a 13-foot parkway. Cul-de-sac streets within the project will be designed with a 36-foot paved area, within a 56-foot wide right-of-way. A 5-foot wide non-contiguous sidewalk will be designed within a 10-foot wide parkway. The width of private streets within multifamily neighborhoods may vary and shall be established during the entitlement permit review in accordance with City standards.



SOURCE:
'QUARRY CREEK BRIDGE PLANNING STUDIES' PREPARED
BY T-Y-LIN INTERNATIONAL (SEPTEMBER 13, 2011)



FIGURE 47

Quarry Creek

QUARRY CREEK BRIDGE - PLANNING STUDY

Master Plan

7.3.4 Public Transportation/Park & Ride

This Master Plan has been designed to provide safe and convenient access to transit facilities. Bus stop facilities will be provided along the south side of Haymar Drive adjacent to Planning Area P-2. Said facilities shall at a minimum include a covered bench, free from advertising, trash receptacle, information board, and a pole for a bus stop sign. The bench and pole shall be designed in a manner so as to not detract from the basic theme of the adjacent planning area and said design shall be subject to the approval of Planning Director and North County Transit District. Bus stop facilities shall be maintained by the Master HOA. Planning Area P-1 provides a Park & Ride lot for freeway commuters.

Bus stop pad dimensions and furniture to be provided shall be consistent with the NCTD Bus Stop Standards and the City of Carlsbad Planning Department recommendations. Shelters may be designed to complement the design theme of the Master Plan. Modifications to the locations described shall be subject to NCTD and City of Carlsbad approval.

7.3.5 Bike Routes

The Quarry Creek project will accommodate 6-foot wide bicycle travel lanes along all public streets within the project. Bicycle racks and related facilities shall be provided at all trail stops, the Community Facilities site and within all residential planning areas.

7.4 Sewer Plan

Sewer services will be coordinated by the City of Carlsbad. The Quarry Creek Master Plan area will be served by the existing sewer interceptor which travels westerly through the northern portion of the master plan area, to Haymar Drive to the west (downstream). The entirety of the Quarry Creek Master Plan buildout development will sewer down this line.

On-site sewer collection lines will be installed by the developer(s) as development of the project proceeds. All development within the Quarry Creek Master Plan also will be required to pay the appropriate Sewer Connection Fees and Sewer Benefit Area Fees prior to issuance of any building permits for such development. Existing off-site and conceptual off and on-site sewer system improvements are shown on *Figure 46; Master Sewer Plan*.

The sewer collection plan will include capacity and design alignment (extended length to the south) which will accept the existing 805 EDU from the Simsbury lift station and the potential future connection of the lift station in the Quarry Creek Shopping Center, located off-site, south and east of the Quarry Creek development. This will allow for the abandonment of these temporary lift stations.

7.5 Water Plan

The Quarry Creek Master Plan area is wholly located within the Carlsbad Municipal Water District (CMWD). All water facilities will be constructed in accordance with the District's policies and regulations. Water facilities have been designed in a manner to ultimately serve buildout of the project with considerations to offsite water demand as well.

Existing off-site and proposed conceptual off and on-site domestic water system improvements are shown on *Figure 47; Master Water Plan*. The principal source of supply to the project will be from a Calavera Hills development tie-in south of the site. Improvements required to serve the proposed development will be provided prior to any development within the Quarry Creek Master Plan being completed. The water line capacity necessary for specific service lines will be analyzed and approved by CMWD during the review process for individual development permits within the planning areas. Pressure reducing stations and water line sizes will be determined by a water demand/pressure study prepared by the applicant and reviewed and approved by the City.

7.6 Drainage Plan

The Quarry Creek Master Plan is located wholly within the Buena Vista Lagoon watershed of the Carlsbad Hydrologic Unit. The storm water within this watershed flows through Buena Vista Creek, which extends generally east-west through the Quarry Creek site, and continues west before ultimately entering Buena Vista Lagoon approximately two miles downstream of the site. The entirety of Quarry Creek drains into Buena Vista Creek.

The Carlsbad Growth Management program requires that drainage facilities be provided as required by the City concurrent with development. As a result, all future development within the Quarry Creek Master Plan will be required to construct necessary storm drain facilities identified in the Drainage Master Plan (*Figure 48; Master Drainage Plan*) and the LFMP as determined by the City Engineer. A number of the storm drain facilities will be privately maintained.

The project will include innovative approaches to water quality management that incorporate a number of the design principles of sustainable development. The project will incorporate best management practices (BMP's) at three levels:

Source control BMP's – Including resident educational programs, maintenance practices, pest control management, etc.

Site Design BMP's – Water quality facilities will be provided in locations to be determined during the Site Development Plan and/or Tentative Subdivision Map process. These facilities are intended to treat the water with bio-treatment in accordance with best management practices for storm water in order to treat potential contaminants in storm water run-off reaching natural drainage courses downstream from the project site. All runoff from developed planning areas will be treated prior to draining downstream into the Buena Vista Creek.

Treatment Control BMP's – A large amount of storm water on-site will be directed to landscape areas to dissipate and filter pollutants through the use of select planting material in water quality facilities before the drainage reaches Buena Vista Creek. Such facilities collect and slowly convey runoff flow to downstream locations and function by filtering water through and infiltrating into the underlying soils, thereby providing treatment of runoff before it moves downstream in Buena Vista Creek.

Hydromodification - In accordance with the Municipal Permit and final hydromodification management plan (HMP) dated October 2011, the project will employ a hydromodification management strategy which will implement measures so that post-development runoff rates and durations do not exceed pre-project conditions. The project will utilize storm water management features that have been sized based on IMP and BMP sizing approach for hydromodification management.

7.7 Solid Waste Disposal

Solid waste disposal for the Quarry Creek Master Plan will be provided by Coast Waste Management, a private company which has contracted with the City of Carlsbad to provide such services. The developer will coordinate with Coast Waste and include provisions to ensure adequate vehicular access for solid waste pickup for the proposed land uses.



7.8 Fire Protection

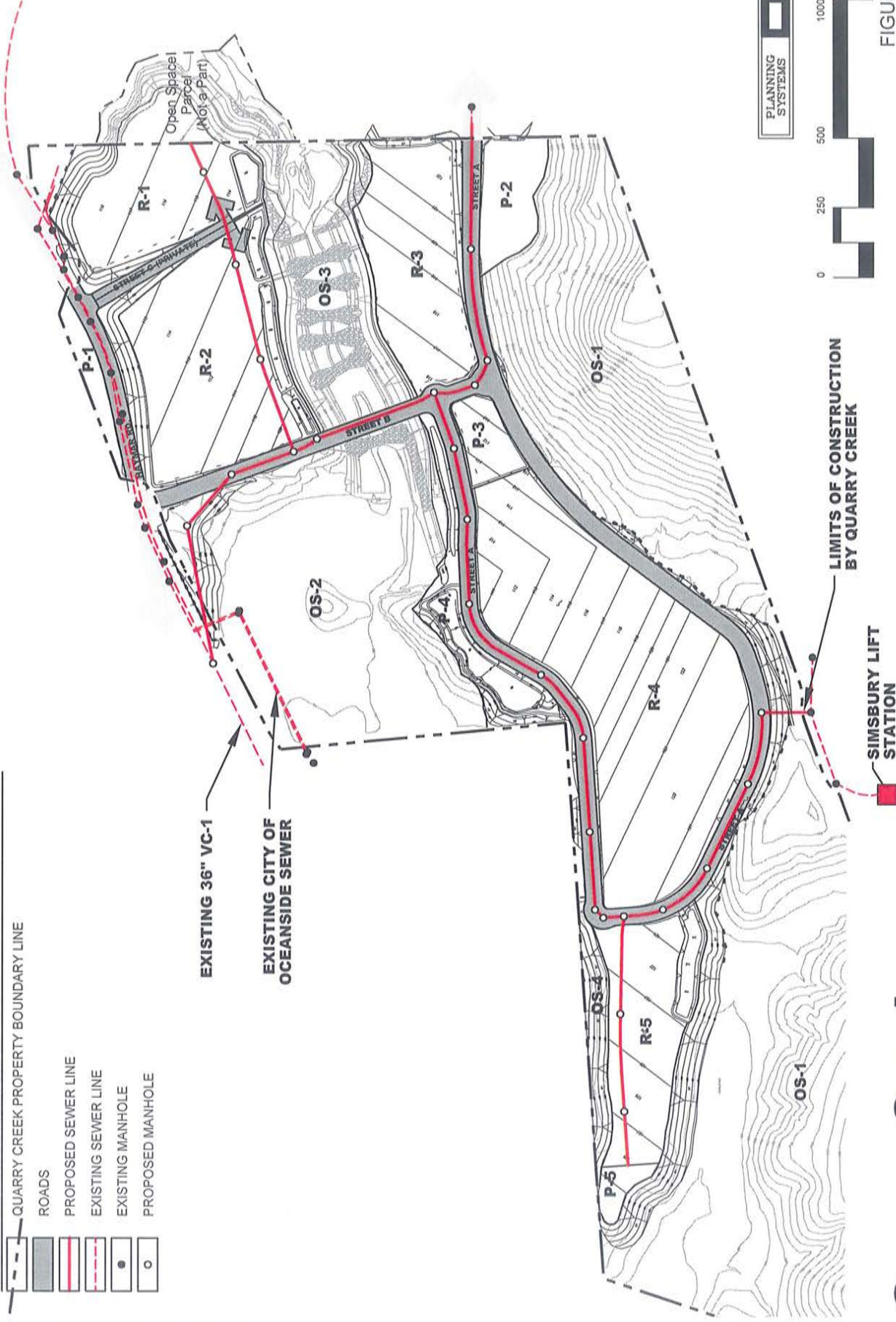
The Quarry Creek Master Plan is situated well within the 5-minute response time of City of Oceanside Fire Station No. 4, located at the intersection of Thunder Dr. and Lake Dr. in Oceanside. This station is approximately 0.8 mile from the Quarry Creek site. The Cities of Oceanside and Carlsbad have a joint response agreement which dictates that the manned station which is closest (can provide the fastest response) to the subject emergency, shall respond. The City of Carlsbad Fire Station #1 is located at Carlsbad Village Drive, east of Pio Pico Drive, approximately 3 miles from the property. Carlsbad Fire Station #3 is proposed to be constructed near the corner of Cannon Road and Wind Trail Way, approximately 2.5 miles south of Quarry Creek.

7.9 Gas and Electric

San Diego Gas and Electric Company currently provides service to the Quarry Creek Master Plan area, and indicates that energy services will be provided to the proposed project.

LEGEND

-  QUARRY CREEK PROPERTY BOUNDARY LINE
-  ROADS
-  PROPOSED SEWER LINE
-  EXISTING SEWER LINE
-  EXISTING MANHOLE
-  PROPOSED MANHOLE



PLANNING SYSTEMS



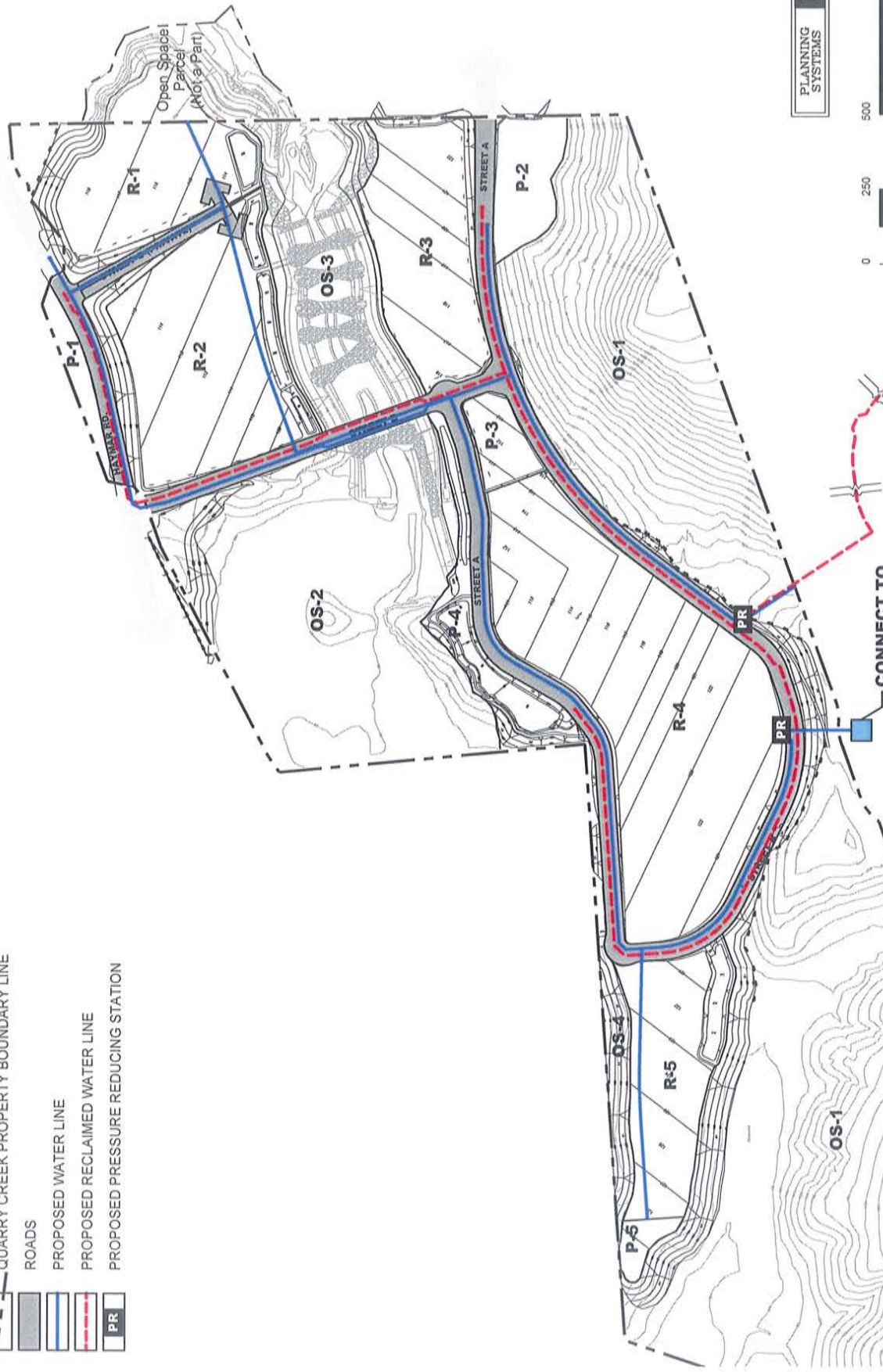
FIGURE 48

MASTER SEWER PLAN

Quarry Creek

LEGEND

- QUARRY CREEK PROPERTY BOUNDARY LINE
- ROADS
- PROPOSED WATER LINE
- PROPOSED RECLAIMED WATER LINE
- PROPOSED PRESSURE REDUCING STATION



PLANNING SYSTEMS








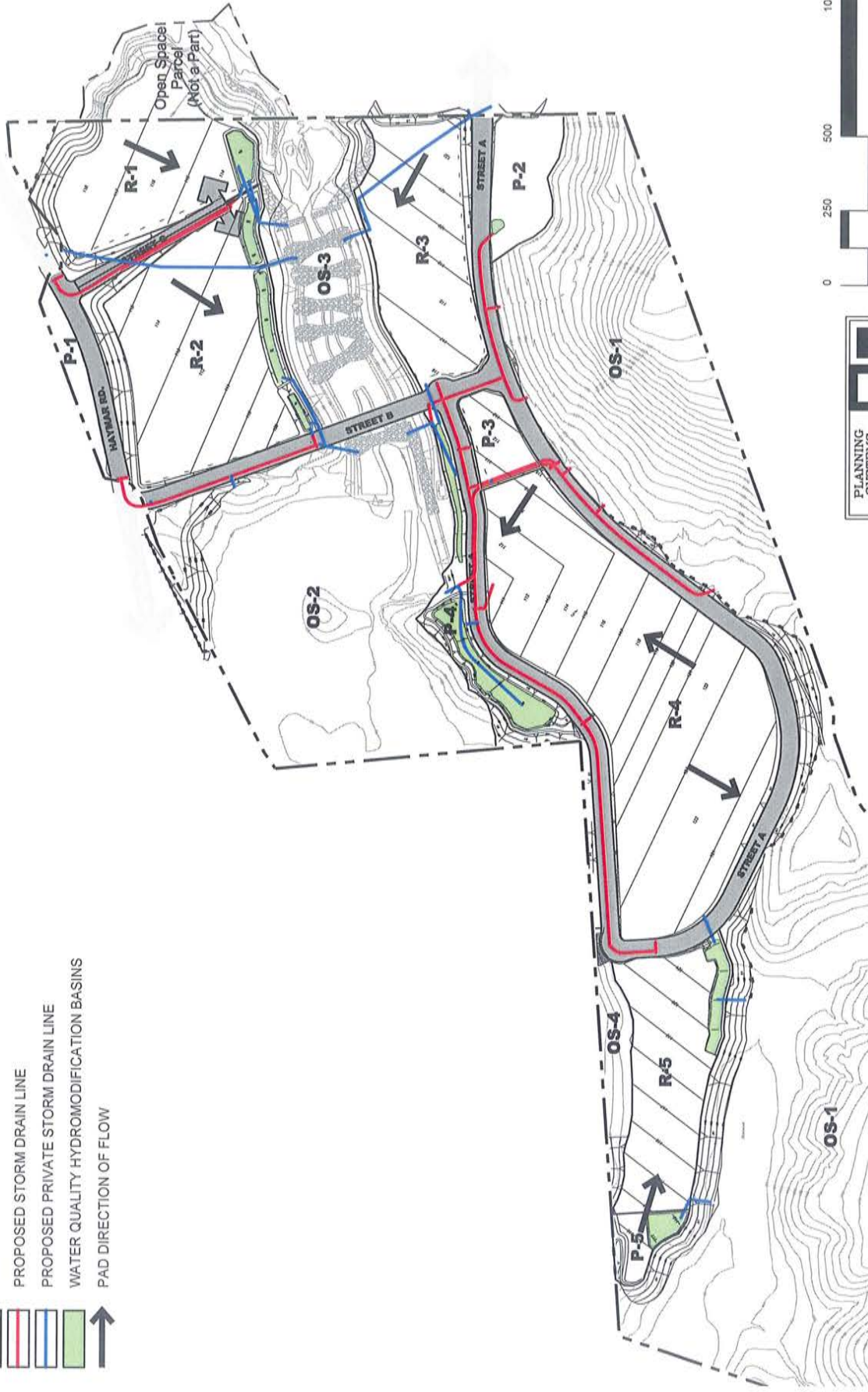
FIGURE 49

MASTER WATER PLAN

Quarry Creek

LEGEND

-  QUARRY CREEK PROPERTY BOUNDARY LINE
-  ROADS
-  PROPOSED STORM DRAIN LINE
-  PROPOSED PRIVATE STORM DRAIN LINE
-  WATER QUALITY HYDROMODIFICATION BASINS
-  PAD DIRECTION OF FLOW



PLANNING
SYSTEMS



FIGURE 50

MASTER DRAINAGE PLAN

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Quarry Creek

Master Plan

8 MASTER PLAN IMPLEMENTATION & AMENDMENTS

Implementation of the various components of the development plan contained within the Quarry Creek Master Plan requires the concurrent approval of entitlement applications and permits, by the City of Carlsbad, as well as by State and Federal resource agencies. Table L, *Quarry Creek Permits Matrix*, organizes the required and dependent permits by planning area. Likewise, amendments to this Master Plan involve review and approval by a level of decision-makers in accordance with the intensity level of the amendment proposed.

8.1 Entitlements Needed to Implement the Master Plan

The following is a generalized summary of the entitlements which will be processed and approved in order to implement the buildout development of the Quarry Creek Master Plan project consistent with the adopted State Guidelines for the Carlsbad Housing Element.

8.1.1 Concurrent Entitlement Applications

The processing, favorable consideration and approval of the Quarry Creek Master Plan require that the following applications be considered concurrently:

- General Plan Amendment. As part of the proposed project, and in accordance with the December 23, 2009 and July 6, 2011 City Council actions amending the Housing Element guidelines to provide more attainable housing, a General Plan Amendment has been filed which will amend the General Plan Land Use designations within the project site. This amendment will replace the “RLM” (Low Medium Density – less than 4 du/ac) land use category which presently covers much of the property. This RLM land use category will be replaced with “RMH” (Medium-High Density – 8 to 15 du/ac), and “RH” (High Density – 15 to 23 du/ac). A high percentage of the property is proposed as “OS” (Open Space) land use. An amendment to the Open Space and Conservation element of the General Plan will also be processed in conjunction with the amendment to the Land Use Element. The project also proposes an amendment to the Circulation Element of the General Plan. This amendment involves a proposal to eliminate the extension of Marron Road through and westerly of the property and instead loop the roadway northerly through Quarry Creek to Haymar Drive. This amendment will also eliminate the Rancho del Oro connection and change the classification of the Marron Road loop road from Secondary Arterial to a Controlled Collector roadway.

- Zone Change. The proposal also involves a Zone Change for the property to Planned Community (P-C Zone – Chapter 21.38), which dictates that a Master Plan be prepared prior to development of the property. This Master Plan implements that requirement.
- Local Facilities Management Plan for Zone 25. Pursuant to the City’s Growth Management Program (Title 21, Chapter 21.90 of the Municipal Code), a Local Facilities Management Plan (LFMP) will be filed for Zone 25. The LFMP will analyze the public facilities, infrastructure requirements, capital improvements and financing mechanisms which will be required to adequately provide the public infrastructure needed for project.
- Certification of a Program Environmental Impact Report. Concurrent with the Master Plan document and associated policy actions, an Environmental Impact Report (EIR) will be prepared and processed for public review in accordance with the provisions of the California Environmental Quality Act (CEQA). This EIR will evaluate the impacts of the Quarry Creek project on the environment and will be certified prior to approval of this Master Plan and all related discretionary actions.

8.1.2 Subsequent Entitlements Needed to Implement the Master Plan

Over the life of the Quarry Creek Master Plan, a variety of entitlement actions and discretionary permits will be required to implement the components of the plan. The following entitlements are anticipated to be required for the implementation of one or more aspects of the Master Plan:

Planning Discretionary Actions:

1. A Tentative [or Vesting Tentative] Tract Map(s) shall be processed and approved. The recordation of a final map(s) is a condition precedent to the approval of any discretionary permit or discretionary entitlement for Planning Areas within the Master Plan.
2. A Planned Development Permit shall be processed for all residential projects that involve “for-sale” dwelling units.
3. Site Development Plans shall be processed for any multifamily residential rental developments including an affordable housing project. A Site Development Plan shall also be required for public use Planning Areas P-2 and P-3. An administrative Site Development Plan Permit is required for development of public use Planning Areas P-1, P-4 and P-5.
4. Hillside Development Permit(s) shall be processed for all neighborhoods proposed on land with a slope gradient of 15 percent or greater and a slope height greater than 15 feet in accordance with Chapter 21.95 of the Carlsbad Municipal code.

5. HMP Consistency Determination shall be processed to accommodate minor changes in the “hardline”. These changes will necessitate a comparative analysis of quality/quantity exchange.
6. Special Use Permit shall be required for the Marron Road loop bridge structure across Buena Vista Creek.

Table L: Quarry Creek Permits Matrix

Planning Area	Tentative Subdivision Map	Planned Dev. Permit	Site Dev. Plan	Admin. Site Dev. Plan	Hillside Dev. Permit
Master TM	•				•
R-1			•		
R-2	•	•	•		
R-3	•	•			
R-4	•	•			
R-5	•	•			
P-1				•	
P-2			•		
P-3			•		
P-4				*	
P-5				•	

Note: No permit processing is anticipated for Open Space planning areas.

From time to time, prior to buildout of Quarry Creek, amendments to this Master Plan may be requested. Such amendments will be assessed by City Staff for consistency with the goals and overall intent of this Master Plan.

8.2 Master Plan Amendment Log

Certain minor revisions to the Master Plan may be requested which are found by the Planning Director to be generally consistent with the Master Plan. These minor revisions may include: (a) minor modification of planning area boundaries; (b) minor re-alignment of streets; (c) minor modification of design criteria; or (d) any other proposed changes that are determined by the Director of Planning to be minor modifications.

In addition, modifications to the Master Plan may be requested which exceed the Planning Director’s authority to approve minor modifications, and thus necessitate an amendment to the Master Plan. Any amendment to the Master Plan shall occur in accordance with the process described in this section. These amendments, should they occur, are divided into three categories.

1. Minor Master Plan Amendment. A Master Plan Amendment request shall be determined to be minor if the amendment does not substantially change the boundaries of the subject property or involve an addition of a new use or group of uses not shown on the original master plan or the rearrangement of uses within the master plan. Such

determination shall be made by the Planning Commission pursuant to Chapter 21.38.120 of the CMC.

The Master Plan provides an estimate of the approximate number of units that will be developed within each Planning Area. The exact number of units that will be developed within each Planning Area will be determined through site plan review as part of the processing of the tentative maps or site development plans for the particular Planning Areas, and is based on making the findings articulated in Section 5.3 of this Master Plan, and a determination of reasonable distribution of the maximum 656 dwelling total dwelling units.

2. Major Master Plan Amendment. All other Master Plan Amendments shall be determined to be Major. Major Master Plan Amendments shall be approved through a public hearing before the Planning Commission and City Council pursuant to Chapter 21. 38.120 of the CMC. The applicant shall be required to submit a completed application with graphics, statements, or other information as may be required to support the proposed Amendment. An application for a Major Master Plan Amendment shall be processed, heard, and determined in accordance with the terms of Chapter 21.38 applicable to the adoption of a master plan

A log of Master Plan Amendments shall be kept in Table M below.

Table M: Master Plan Amendment Log

Amendment No.	Date	Amendment Description

8.3 Residential Unit Accounting Table

As discussed in Chapter 3 of this Master Plan, the Master Plan provides an assumed number of units that will be developed within each Planning Area. The unit estimates are based on a maximum total number of units that will be allowed at buildout of the Quarry Creek project. This maximum is 656 units. The exact number of units that will be developed in each planning area will be determined during the subsequent review of the tentative maps and/or site development permits for such planning areas.

This Master Plan provides for the ability to transfer development intensity between planning areas to allow flexibility in response to changing market trends. Depending upon the actual land uses and intensity selected with each development action, more or less units than the Assumed DU (shown in Table N below) may actually be approved through site development plan review. Therefore the selection of actual product types and land uses within each planning area may result in more or less units than the Assumed DU.

As indicated in Chapter 5, if a site development plan approval results in fewer units than the Assumed DU in this Master Plan, then these units may be transferred to the another planning

area as a receptor planning area, per the discretion of the City. If excess dwelling unit remain after approvals have been granted for all Quarry Creek residential planning areas, the remaining surplus units will be placed in the City of Carlsbad Excess Dwelling Unit Bank for future allocation as determined by the City. The overall number of dwelling units at buildout of Quarry Creek shall not exceed 656 units as indicated in this Master Plan.

Table N; Master Plan Unit Accounting Table

Planning Area	Master Plan Assumed Units	Units Approved by TM/SDP	Units to Transfer to Planning Area	Units to Transfer to DU Bank
R-1	110			
R-2	196			
R-3	73			
R-4	211			
R-5	66			
TOTAL	656			

8.4 State Requirements

As contained in Section 65450, et. seq. of the California Government Code, a master plan shall be prepared, adopted and amended in the same manner as a General Plan, except that a master plan may be adopted by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body. No master plan may be adopted or amended unless the proposed master plan or amendment is consistent with the City's General Plan.